

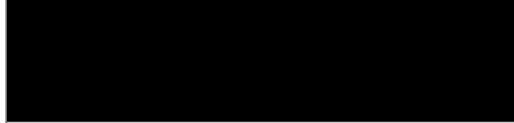
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## SCOPE OF WORK

-CONVERSION OF EXISTING COMMERCIAL OFFICES TO A 2 FAMILY DWELLING  
-GUT RENOVATION OF INTERIOR OF BOTH UNITS.

## BUILDING & SITE DATA



## CODE ANALYSIS

THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL CONSTRUCTION CODE, NJ EDITION, AS WELL AS ALL NJAC 5:32 CRITERIA.

USE AND CONSTRUCTION CLASSIFICATIONS

USE GROUPS: R-3 (TWO FAMILY)  
GOVERNING MOST RESTRICTIVE: R-3 (TWO FAMILY)  
ZONING DISTRICT: R-1

CONSTRUCTION TYPE: 5A

SPRINKLERS / FIRE PROTECTION: EXISTING BUILDING IS NOT SPRINKLERED

BUILDING CODE DATA

1. IBC 2015 INTERNATIONAL BUILDING CODE, NJ EDITION (N.J.A.C. 5:23-6.14)
2. 2015 NATIONAL STANDARD PLUMBING CODE (N.J.A.C. 5:23-3.15)
3. 2014 NATIONAL ELECTRIC CODE, NJ EDITION (N.J.A.C. 5:23-3.16)
4. 2015 NATIONAL MECHANICAL CODE, NJ EDITION (N.J.A.C. 5:23-3.20)
5. 2015 NATIONAL FUEL GAS CODE, NJ EDITION (N.J.A.C. 5:23-3.22)
6. 2015 NATIONAL FIRE CODE, NJ EDITION
7. 2015 INTERNATIONAL ENERGY CONSERVATION CODE, NJ EDITION

## FIRE PENETRATION NOTES

1. PENETRATIONS WITHIN THE UNIT LESS THAN 3" MUST BE RODENT PROOFED WITH SILICONE OR BETTER.
2. ALL PENETRATIONS 3" DIAMETER OR MORE CONTINUOUS FOR 4 FLOORS MUST HAVE RATED FIRE COLLARS AT THE UNDERSIDE OF THE PENETRATION.
3. PENETRATIONS LESS THAN 3" BETWEEN SEPARATE UNITS MUST BE FIRE-CAULKED.

## EXISTING FRONT PHOTO



## BLOCK DIAGRAM



## GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY (CURRENT EDITION), IRC CODE (CURRENT EDITION), & ALL RELATED CODES AND STANDARDS, AND THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION. ALL STRUCTURAL, ELECTRICAL, AND MECHANICAL WORK SHALL COMPLY WITH THE GOVERNING CODES AS ADMINISTERED BY THE LOCAL BUILDING OFFICIALS & SHALL BE CONSIDERED AS PART OF THE CONSTRUCTION DOCUMENTS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN, CALLED FOR AND / OR REASONABLY IMPLIED, UNLESS OTHERWISE AGREED TO (IN WRITING) BY THE OWNER.
3. THE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL APPLICATIONS, PERMITS, TESTS, INSPECTIONS, APPROVALS, & CERTIFICATIONS FROM ALL LOCAL, COUNTY, STATE, & FEDERAL AGENCIES HAVING JURISDICTION.
4. PLUMBING, HVAC, & ELECTRICAL WORK WHERE REQUIRED SHALL BE DESIGN-BUILD BY THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS. ALL WORK SHALL MEET OR EXCEED STANDARD RESIDENTIAL CRITERIA FOR SIMILAR INSTALLATIONS (UNLESS OTHERWISE NOTED TO MEET A MORE STRINGENT CRITERIA) AND SHALL BE PERFORMED IN COMPLIANCE WITH GENERAL NOTES.
5. ALL CONTRACTORS SHALL REVIEW AND COORDINATE THE PLANS AND SPECIFICATIONS FOR THE PROPOSED WORK WITH THE EXISTING BUILDING, UTILITIES, AND FIELD CONDITIONS AND SHALL REPORT ANY AND ALL DISCREPANCIES AND INTERFERENCES TO THE ARCHITECT (IN WRITING) PRIOR TO COMMENCING WORK AND ORDERING MATERIALS. THE CONTRACTORS SHALL BE RESPONSIBLE FOR THE COMPLETENESS AND CORRECT FIT OF THEIR WORK WITH THAT OF ADJACENT TRADES.
6. MAINTAIN ALL UTILITIES IN FUNCTION. ORDER, WATER AND WEATHER TIGHTNESS OF ALL WORK AREAS, ACCESS TO AND SECURITY OF THE PREMISES, JOB SITE SAFETY AND PROVIDE AND MAINTAIN FIRE EXTINGUISHERS DURING THE COURSE OF CONSTRUCTION.
7. ALTERNATE PROPOSALS FOR DETAILS OF CONSTRUCTION, DIFFERENT, PRODUCT MANUFACTURERS, AND ASSEMBLIES MAY BE CONSIDERED WHEN SPECIFICALLY BROUGHT TO THE ATTENTION OF THE ARCHITECT (IN WRITING) ON A TIMELY BASIS WHICH WOULD NOT DELAY THE PROGRESS OF WORK.
8. ALL CONTRACTORS SHALL GUARANTEE THEIR WORK (IN WRITING) FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY (C. OF O.)
9. ALL CONTRACTORS SHALL PROVIDE MANUFACTURERS GUARANTEES, OPERATION AND MAINTENANCE PROCEDURES (I.E. HANDS ON INSTRUCTION) FOR ALL MATERIALS AND EQUIPMENT, FIXTURES, AND DEVICES.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES, AND JOB SITE SAFETY AND SHALL COORDINATE THE SAME WITH OWNER AND ALL ADJACENT TRADES. THE GENERAL CONTRACTOR SHALL SUPERVISE ALL WORK AND SHALL ASSURE THAT ALL DESIGN CONDITIONS ARE VERIFIED AND SATISFIED.
11. CHANGES TO THE PLANS AND / OR SPECIFICATIONS AND / OR THE USES THEREOF WHICH CAUSE ANY KIND OF DAMAGE TO PERSONS OR PROPERTY (DIRECTLY OR INDIRECTLY) SHALL BE THE RESPONSIBILITY OF THOSE PARTIES AUTHORIZING AND / OR UNDERTAKING SUCH CHANGES WHERE SUCH CHANGES HAVE NOT BEEN AUTHORIZED BY THE ARCHITECT. MATTERS NOT ADDRESSED BY THE PLANS AND SPECIFICATIONS SHALL BE WHEN ADDRESSED BY OTHERS, THE RESPONSIBILITY OF THOSE OTHERS.
12. LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK AND REPORT ALL INTERFERENCES OF PROPOSED WORK TO THE ARCHITECT. RELOCATE EXISTING TELEPHONE, ELECTRICAL, PLUMBING LINES, ETC. AS CONDITIONS WARRANT TO MAINTAIN AND PROVIDE COMPLETE FUNCTIONING SYSTEMS.

## GENERAL NOTES (CONT.)

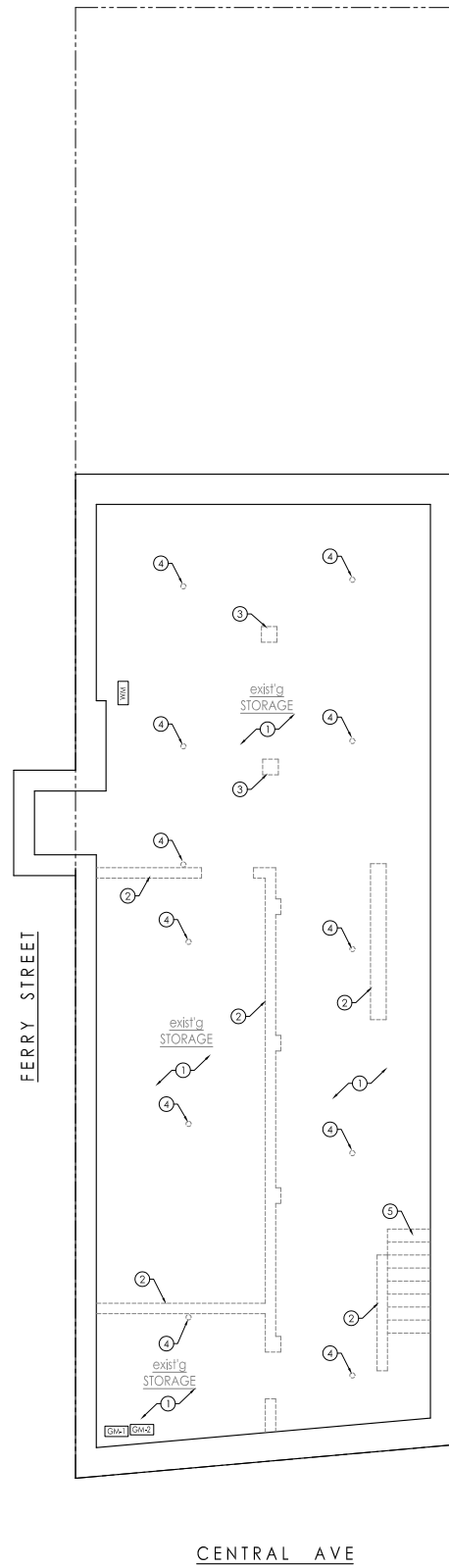
13. COORDINATE LOCATION OF MATERIAL STOCK PILES WITH ALL TRADES AND OWNER AND MAINTAIN OWNERS ACCESS.
14. ALL DEBRIS FROM DEMOLITION AND CONSTRUCTION WORK SHALL BE REMOVED FROM THE SITE ON A REGULAR BASIS BY THE GENERAL CONTRACTOR.
15. CONTRACTOR TO PROVIDE AND INSTALL TEMPORARY TOILETS DURING THE COURSE OF CONSTRUCTION.
16. ALL NEW WALLS AND CEILINGS TO BE 5/8" GYPSUM BOARD, UNLESS OTHERWISE NOTED. OTHERWISE TAPED, SPACKLED, SANDED, AND PAINTED. USE 1/2" CEMENT BOARD AS BASE FOR BATHROOM FLOOR TILE & SHOWER WALLS TYPICAL. FASTEN GYPSUM BOARD W/ NO. 6 SCREWS SPACED @ 12" O.C. TYP.
17. ALL TRIMS TO BE SELECTED BY OWNER.
18. ALL PAINTING AND STAINING SHALL BE PERFORMED UNDER THIS CONTRACT AT AREAS OF NEW WORK (UNLESS OTHERWISE NOTED). ALL COLORS AND FINISHES SHALL BE AS SELECTED BY OWNER. SUBMIT SAMPLES FOR SELECTION BY OWNER.
19. THE DRAWINGS PREPARED BY THE ARCHITECT REPRESENT GENERAL DESIGN INTENT AND ARE NOT TO BE CONSTRUED - EXPLICITLY OR IMPLICITLY - TO REPRESENT ACTUAL AS-BUILT CONDITIONS OF ANY BUILDING. IN ACCORDANCE WITH FIELD CONDITIONS, TRADE PRACTICES, BUILDER PREFERENCES, MATERIAL AND EQUIPMENT SELECTIONS, OWNERS REQUIREMENTS, THE REQUIREMENTS OF UTILITY COMPANIES AND AGENCIES HAVING JURISDICTION AND ANY SUCH - LIKE CIRCUMSTANCES AND / OR CONDITIONS. THE OWNER MAY CHOOSE TO ALTER VARIOUS ELEMENTS OF THE BUILDING WHILE MAINTAINING THE GENERAL DESIGN INTENT OF THE DRAWINGS AND COMPLIANCE WITH CODES, STANDARDS, AND AGENCIES HAVING JURISDICTION. NO FUTURE OWNER OF THIS BUILDING SHALL RELY UPON THE ARCHITECTS DRAWINGS FOR ANY PURPOSE BEING AS BUILT CONDITIONS.
21. EACH CONTRACTOR SHALL REMOVE ALL MANNER OF EXISTING ELEMENTS (IN THEIR TRADE) THAT WOULD INTERFERE WITH THE PURPOSE OF WORK OF THEIR TRADE AND ADJACENT TRADES - AS SHOWN AND / OR REASONABLY IMPLIED. WHERE THESE ELEMENTS WHICH INTERFERE ARE REQUIRED IN ORDER TO MAINTAIN THE EXISTING AND PROPER FUNCTION OF THE BUILDING UPON THE COMPLETION OF THE PROJECT, EACH CONTRACTOR SHALL (IN ITS OWN TRADE) RELOCATE, AND / OR ALTER OR MAKE NEW THOSE ELEMENTS TO PROVIDE THE PROPER FUNCTION, AND SHALL DO SO IN COORDINATION WITH THE GENERAL CONTRACTOR AND ALL ADJACENT TRADES.
22. CONTRACTOR TO MAINTAIN LIABILITY INSURANCE OF SUFFICIENT AMOUNT AS AGREED UPON BY THE OWNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
23. NOTHING IN THESE DRAWINGS SHALL IMPOSE LIABILITY ON THE ARCHITECT / ENGINEER FOR CLAIMS, LAWSUITS, EXPENSES, OR DAMAGES ARISING FROM OR IN ANY MANNER RELATED TO THE EXPOSURE OF THE HANDLING, MANUFACTURE, OR DISPOSAL OF ASBESTOS, ASBESTOS PRODUCTS, OR HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS AS DEFINED BY THE ENVIRONMENTAL PROTECTION AGENCY.
24. CONTRACTOR SHALL IDENTIFY AND NOTIFY THE OWNER AND ARCHITECT OF THE PRESENCE OF ASBESTOS OR OTHER SUSPECTED HAZARDOUS MATERIALS BEFORE INITIATING THE DEMOLITION OF THE SAME, AT WHICH TIME THE APPROPRIATE IDENTIFICATION AND REMOVAL OF SUCH SUSPECTED MATERIALS BY A LICENSED AND APPROVED CONTRACTOR SHALL COMMENCE. METHOD AND COST OF REMOVAL SHALL BE APPROVED AND PAID FOR DIRECTLY BY THE OWNER.

## ELECTRICAL NOTES

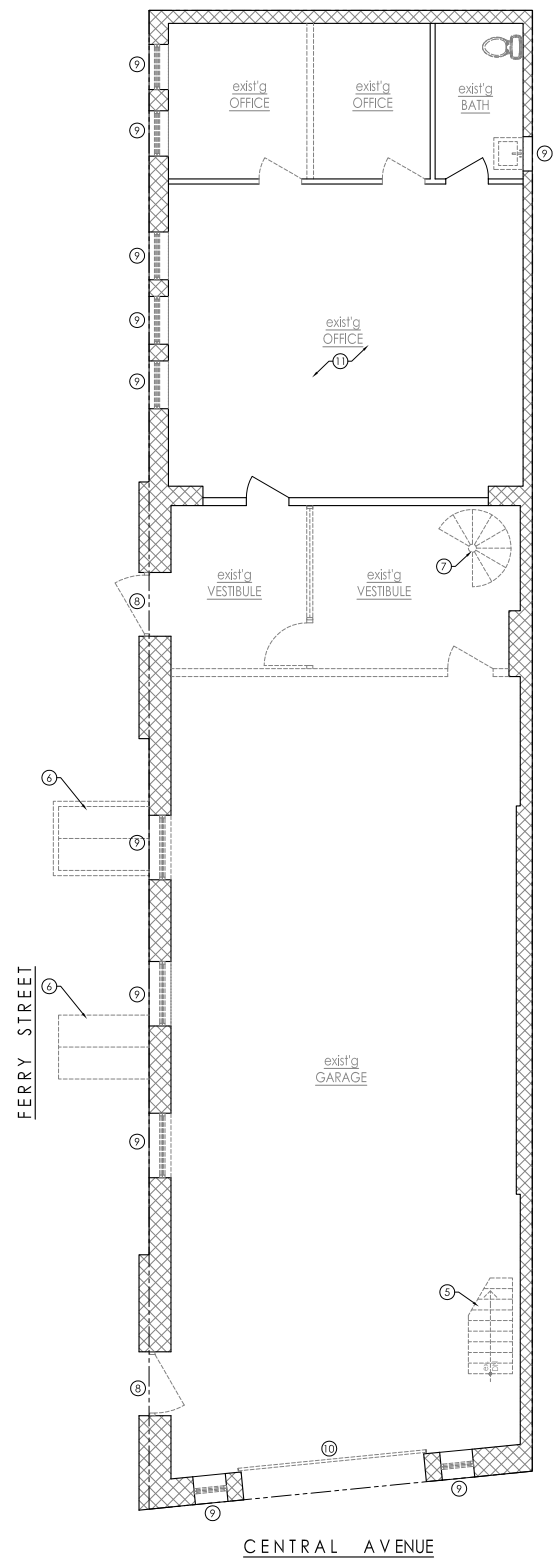
1. ALL WORK SHALL BE DONE BY A NJ LICENSED ELECTRICIAN.
2. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL WIRING, OUTLETS, DISTRIBUTION PANELS, CIRCUIT BREAKERS, SWITCHES, ETC. REQUIRED TO PROVIDE A COMPLETE OPERATIONAL ELECTRICAL SYSTEM. CONTRACTOR TO INSTALL LIGHTING FIXTURES AND HOOK UP EQUIPMENT AND APPLIANCES.
3. HARD WIRE ALL SMOKE DETECTORS SO ACTUATION OF 1 SHALL ACTUATE ALL. PROVIDE AND INSTALL SMOKE DETECTORS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY MUNICIPAL OFFICIAL. ALL SMOKE DETECTORS SHALL BE UL LISTED.
4. ALL RECEPTACLES TO BE 120 VOLT, SINGLE PHASE 12-20 AMPERE.
5. PROVIDE REQUIRED WORKING CLEARANCE FOR ALL ELECTRICAL PANELS AS PER 110-16 NEC.
6. ALL SWITCHES, OUTLETS, AND PANELS TO BE ACCESSIBLE.
7. OUTLETS SHALL NOT BE INSTALLED "BACK TO BACK" ON FIRE RATED WALLS.

## PLUMBING NOTES

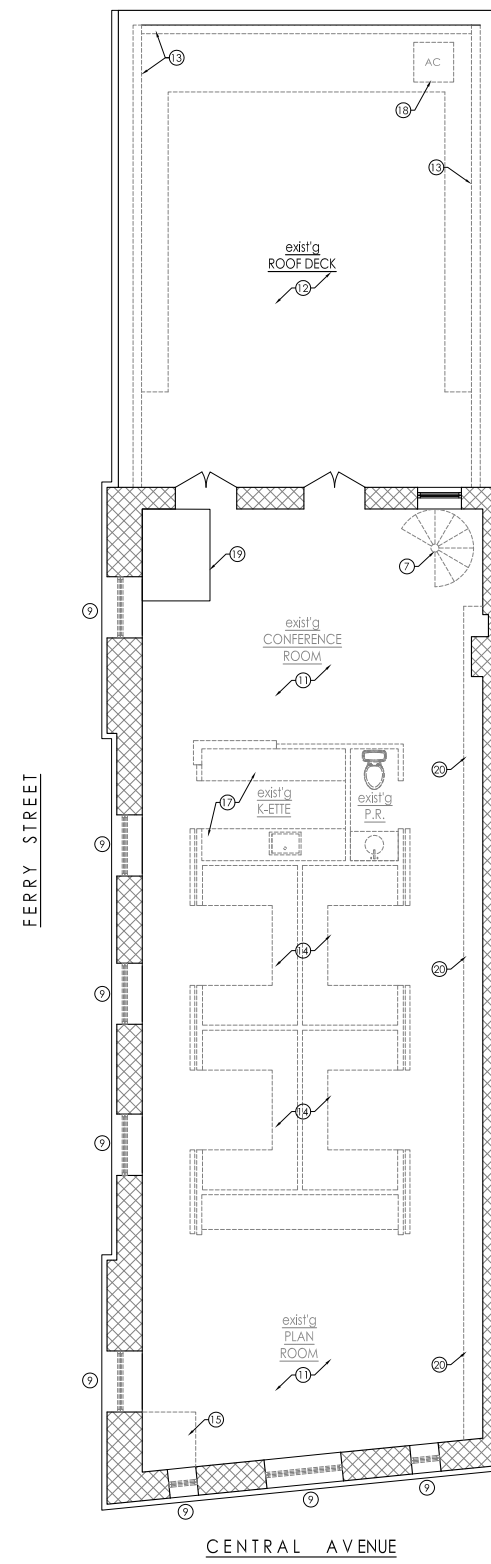
1. ALL WORK TO CONFORM TO NATIONAL STANDARD PLUMBING CODE, NJ EDITION (CURRENT EDITION), LOCAL CODES, & UTILITY COMPANY REQUIREMENTS.
2. CLOSE ALL PENETRATIONS THROUGH RATED ASSEMBLIES W/ MATERIALS HAVING AN EQUAL RATING AS ASSEMBLY.
3. ALL WATER SUPPLY RISERS AND BRANCHES ARE TO BE VALVED. BATH TUB HARDWARE TO HAVE INTEGRAL STOPS. HOT WATER LINES TO HAVE GRAVITY RETURN LOOPS. ALL HOT WATER PIPING AND COLD WATER PIPING IN UNCONDITIONED SPACES TO HAVE CLOSED CELL INSULATION SURROUNDS.
4. HYDRONIC AND DOMESTIC HEATERS TO BE INSTALLED ON NON-COMBUSIBLE FLOOR W/ RELIEF VALVES PIPED TO FLOOR DRAIN OR INDIRECT WASTE.
5. WATER PIPING TO BE PEX.
6. SANITARY AND STORM PIPING TO BE SCHEDULE 40 PVC.
7. GAS PIPING TO BE BLACK IRON OR CSST. CSST SHALL BE BONDED AS REQUIRED.
8. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL PIPING, VALVES, TRAPS, VENTS, DRAINS, HOSE BIBS, ETC. REQUIRED TO PROVIDE A COMPLETE OPERATIONAL PLUMBING SYSTEM. CONTRACTOR TO INSTALL FIXTURE AND HOOK UP EQUIPMENT & APPLIANCES.
9. FIXTURES SHALL MEET THE FOLLOWING WATER CONSERVATION FLOW RATES:  
TOILETS - 1.6 GAL. MAX. FLUSH  
FAUCETS - 3.0 GAL. MAX. MINUTE
10. ALL FINISHED PLUMBING FIXTURES & HARDWARE TYPES & FINISH AS SELECTED BY THE OWNER TYP.
11. ALL FLOOR DRAINS TO HAVE BACKWATER TRAP.
12. ALL DIVERTERS TO BE ANTI-SCALD TYPE W/ INTEGRAL STOPS.
13. ALL FIXTURES SHALL BE ASSUMED TO BE OWNER PROVIDED FOR BIDDING PURPOSES.
14. CONTRACTOR SHALL REQUEST SPECIFICATIONS FOR PLUMBING FIXTURES AT LEAST 1 MONTH IN ADVANCE.
15. ANY LONG LEAD TIME / EARLY INSTALL ITEMS SHALL BE REQUESTED AT LEAST 1 MONTH IN ADVANCE. OWNER SHALL DELIVER FIXTURES NO LATER THAN 1 WEEK PRIOR TO INSTALLATION.



**1** CELLAR DEMOLITION PLAN  
3/16" = 1'-0"






**2** 1ST FLOOR DEMOLITION PLAN  
3/16" = 1'-0"



**3** 2ND FLOOR DEMOLITION PLAN  
3/16" = 1'-0"




**DEMOLITION KEY**

-  EXIST'G EXTERIOR WALL TO REMAIN; NO CHANGE
-  EXIST'G INTERIOR PARTITION TO REMAIN
-  EXIST'G INTERIOR PARTITION OR CONSTRUCTION TO BE REMOVED

**DEMOLITION SHEET NOTES**

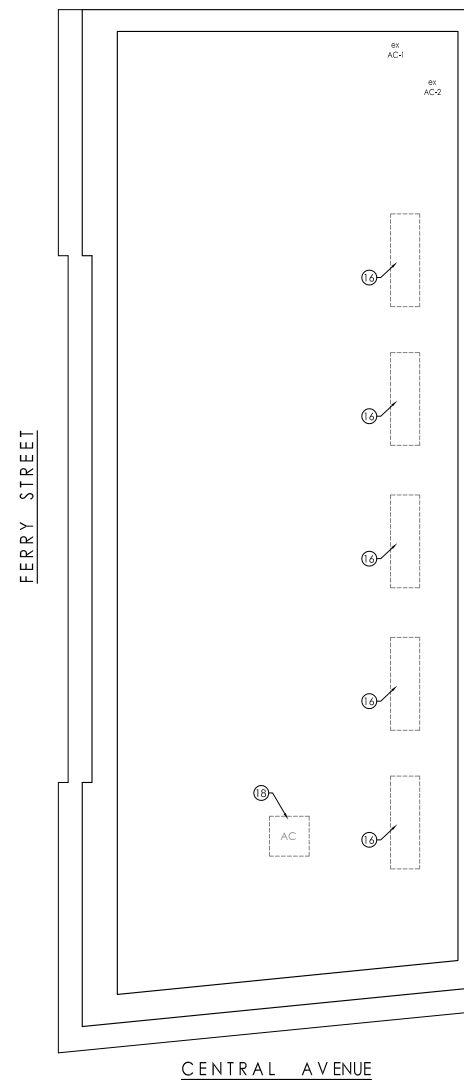
- ① EXISTING CONC. SLAB TO BE REMOVED. EXISTING FLOOR TO BE EXCAVATED AND UNDERPINNED. SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ② EXISTING BRICK FOUNDATION WALL TO BE REMOVED AFTER SLAB REINFORCEMENT. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT DETAILS.
- ③ EXISTING PIER TO BE REMOVED AFTER SLAB REINFORCEMENT ABOVE. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT DETAILS.
- ④ EXISTING STEEL LALLY COLUMN TO BE REMOVED TO BE REMOVED AFTER SLAB REINFORCEMENT. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT DETAILS.
- ⑤ EXISTING STEEL STAIRS TO BE REMOVED. EXISTING OPENING TO BE INFILL FRAMED.
- ⑥ EXISTING STEEL SIDEWALK DOORS TO BE REMOVED. EXISTING VAULT BELOW TO BE FILLED. SEE CONSTRUCTION PLANS.
- ⑦ EXISTING STEEL SPIRAL STAIR TO BE REMOVED.
- ⑧ EXISTING ENTRY DOOR AND FRAME TO BE REMOVED TO ORIGINAL MASONRY OPENING.
- ⑨ EXISTING WINDOW AND FRAME TO BE REMOVED TO ORIGINAL MASONRY OPENING.
- ⑩ EXISTING OVERHEAD GARAGE DOOR TO BE REMOVED.
- ⑪ EXISTING WALL AND CEILING FINISHES TO BE REMOVED. ALL ORIGINAL WINDOW CASINGS TO REMAIN.
- ⑫ EXISTING ROOF DECK AND ROOF FRAMING TO BE REMOVED.
- ⑬ EXISTING WOOD ROOF RAILING TO BE REMOVED.
- ⑭ EXISTING CUBICLES TO BE REMOVED.
- ⑮ NEW OPENING IN EXISTING FLOOR FOR NEW FIREMAN'S POLE.
- ⑯ EXISTING SKYLIGHTS TO BE REMOVED.
- ⑰ EXISTING KITCHENETTE CABINETS AND FIXTURES TO BE REMOVED AND SAVED FOR REUSE IN THE CELLAR.
- ⑱ EXISTING AC CONDENSING UNIT TO BE REMOVED AND RELOCATED.
- ⑲ EXISTING OPENING IN FLOOR TO BE INFILL FRAMED.
- ⑳ EXISTING FLOOR TO CEILING SHELVING AND CABINERY TO BE CAREFULLY REMOVED AND SAVED FOR REUSE. EXISTING CABINERY AND SHELVES SHALL NOT BE DESTROYED.

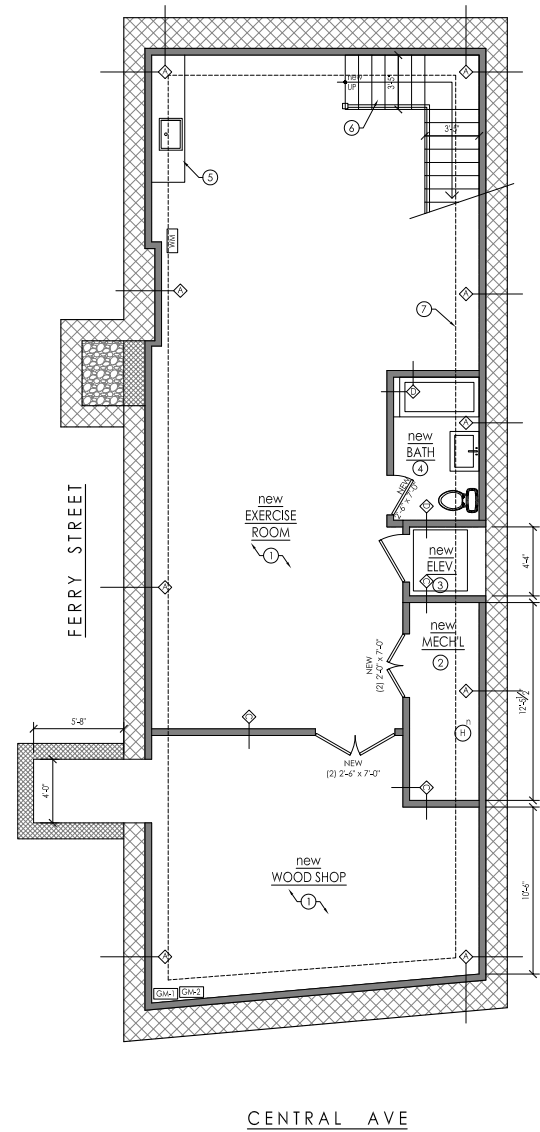
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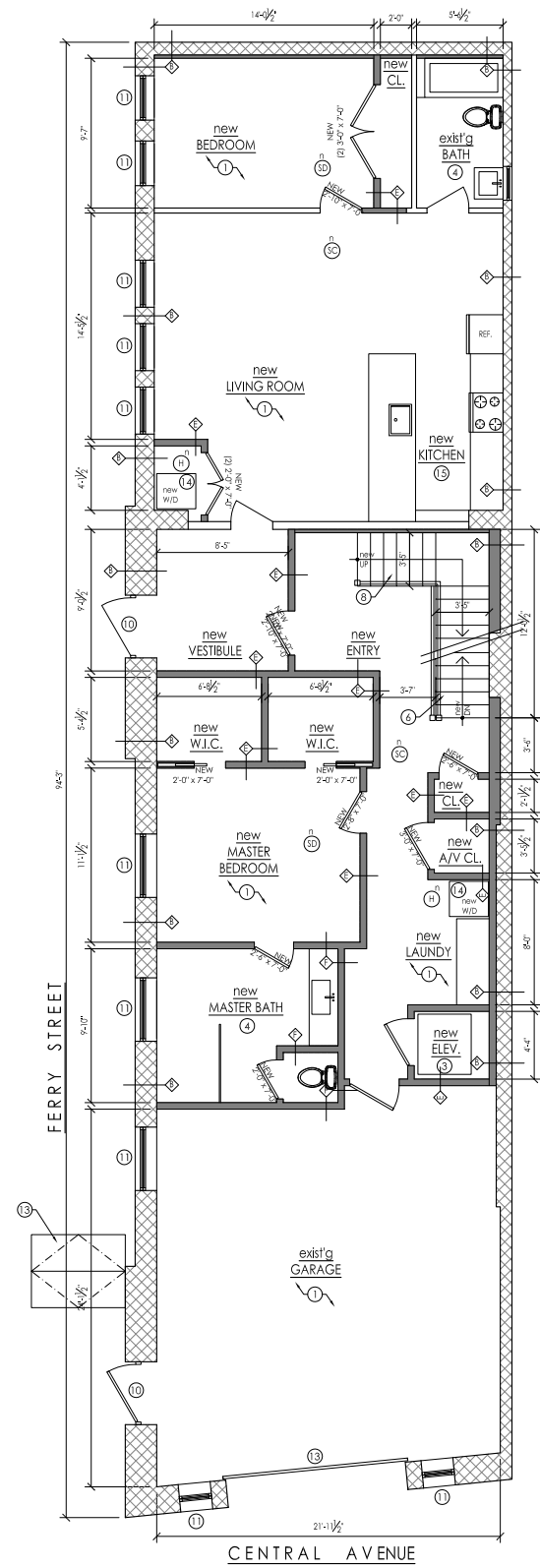
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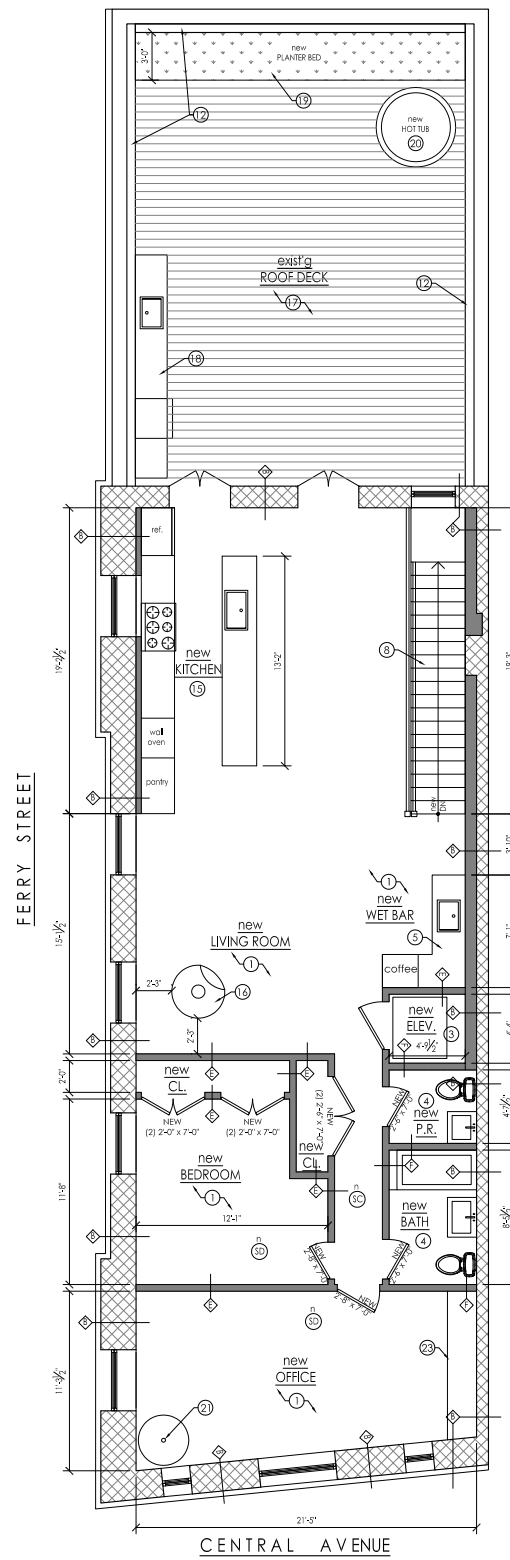




**1** CELLAR CONSTRUCTION PLAN  
3/16" = 1'-0"



**2** 1ST FLOOR CONSTRUCTION PLAN  
3/16" = 1'-0"



**3** 2ND FLOOR CONSTRUCTION PLAN  
3/16" = 1'-0"






### CONSTRUCTION KEY

- EXIST'G BRICK MASONRY PARTY / EXTERIOR WALL
- EXIST'G NON LOAD BEARING INTERIOR PARTITION; NO CHANGE
- NEW NON LOAD BEARING WOOD STUD WALLS; SEE PARTITION TYPES.
- ex / new EXISTING / NEW 110V. HARDWIRED / INTERCONNECTED COMBINATION SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
- ex / new EXISTING / NEW 110V. HARDWIRED / INTERCONNECTED SMOKE DETECTOR

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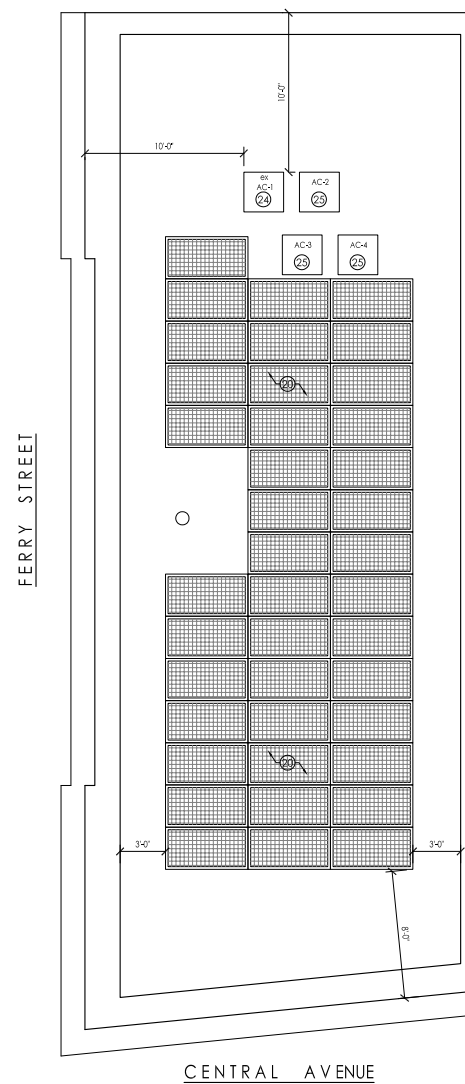
- 1 NEW OR REFURBISHED WALL, CEILING, AND FLOOR FINISHES. SEE FINISH PLANS FOR DETAILS.
- 2 NEW MECHANICAL EQUIPMENT. SEE MECHANICAL PLANS FOR DETAILS.
- 3 NEW RESIDENTIAL ELEVATOR. SPEC TBD BY OWNER.
- 4 NEW BATH FIXTURES AND FINISHES. SEE OWNER SUPPLIED BATH ELEVATIONS FOR DETAILS.
- 5 NEW WET BAR CABINETS, FIXTURES AND FINISHES. SEE OWNER SUPPLIED WET BAR ELEVATIONS FOR DETAILS.
- 6 NEW STAIRS BETWEEN CELLAR AND 1ST FLOORS. SEE DETAIL ON SHEET A-102.
- 7 NEW FRENCH DRAIN THROUGHOUT BASEMENT. SEE DETAIL 4/S-100.
- 8 NEW STAIRS BETWEEN 1ST AND 2ND FLOORS. SEE DETAIL ON SHEET A-102.
- 9 RESERVED FOR FUTURE USE.
- 10 NEW DOOR AND TRANSOM WINDOW IN EXISTING MASONRY OPENING. SEE EXTERIOR ELEVATIONS FOR DETAILS.
- 11 NEW WINDOW IN EXISTING MASONRY OPENING. SEE EXTERIOR ELEVATIONS FOR DETAILS.
- 12 NEW 6'-0" HIGH IPE WOOD PRIVACY SCREEN.
- 13 NEW STEEL ACCESS SIDEWALK DOORS, FLUSH WITH SIDEWALK LEVEL.
- 14 NEW STACKABLE WASHER / GAS DRYER ON NEW ROUGHING.
- 15 NEW KITCHEN CABINETS, FIXTURES AND FINISHES. SEE OWNER SUPPLIED BATH ELEVATIONS FOR DETAILS.
- 16 NEW WOOD BURNING, CEILING SUSPENDED, FIRE ORB FIREPLACE.
- 17 NEW FULL WIDTH IPE WOOD DECKING WITH CONCEALED FASTENERS.
- 18 NEW PREFABRICATED OUTDOOR KITCHEN. (REINSTALLATION OF EXISTING UNIT)
- 19 NEW 3'-0" WIDE X 3'-0" DEEP PLANTER BED.
- 20 NEW 5'-0" DIA. HOT TUB.
- 21 NEW 38" DIA. FIREMAN'S POLE WITH PNEUMATIC SAFETY FLOOR.
- 22 NEW SOLAR PANELS AT MAIN ROOF.
- 23 REINSTALL FLOOR TO CEILING SHELVING AT THIS WALL.
- 24 RELOCATED AC CONDENSING UNIT. UNITS SHALL NOT BE VISIBLE FROM THE STREET.
- 25 NEW AC CONDENSING UNIT. SEE MECHANICAL PLANS FOR DETAILS.

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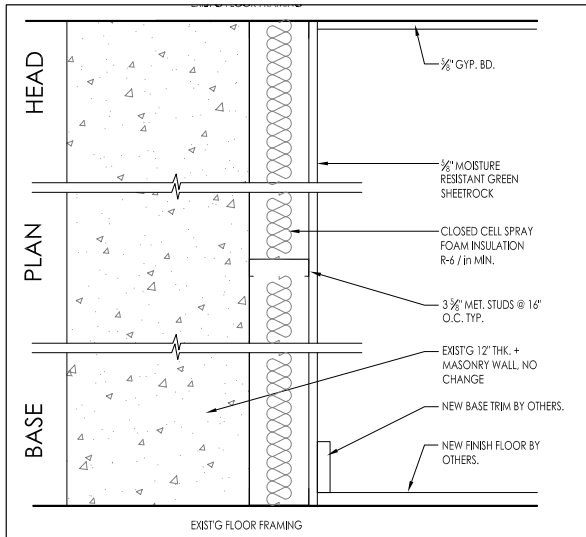
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- ⑦ NEW FRENCH DRAIN THROUGHOUT BASEMENT. SEE DETAIL 4/S-100.
- ⑧ NEW STAIRS BETWEEN 1ST AND 2ND FLOORS. SEE DETAIL ON SHEET A-102.
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- ⑩ NEW DOOR AND TRANSOM WINDOW IN EXISTING MASONRY OPENING. SEE EXTERIOR ELEVATIONS FOR DETAILS.
- ⑪ NEW WINDOW IN EXISTING MASONRY OPENING. SEE EXTERIOR ELEVATIONS FOR DETAILS.
- ⑫ NEW 6'-0" HIGH IPE WOOD PRIVACY SCREEN.
- ⑬ NEW STEEL ACCESS SIDEWALK DOORS, FLUSH WITH SIDEWALK LEVEL.
- ⑭ NEW STACKABLE WASHER / GAS DRYER ON NEW ROUGHING.
- ⑮ NEW KITCHEN CABINETS, FIXTURES AND FINISHES. SEE OWNER SUPPLIED BATH ELEVATIONS FOR DETAILS.
- ⑯ NEW WOOD BURNING, CEILING SUSPENDED, FIRE ORB FIREPLACE.
- ⑰ NEW FULL WIDTH IPE WOOD DECKING WITH CONCEALED FASTENERS.
- ⑱ NEW PREFABRICATED OUTDOOR KITCHEN. (REINSTALLATION OF EXISTING UNIT)
- ⑲ NEW 3'-0" WIDE X 3'-0" DEEP PLANTER BED.
- ⑳ NEW 5'-0" DIA. HOT TUB.
- ㉑ NEW 38" DIA. FIREMAN'S POLE WITH PNEUMATIC SAFETY FLOOR.
- ㉒ NEW SOLAR PANELS AT MAIN ROOF.
- ㉓ REINSTALL FLOOR TO CEILING SHELVING AT THIS WALL.
- ㉔ RELOCATED AC CONDENSING UNIT. UNITS SHALL NOT BE VISIBLE FROM THE STREET.
- ㉕ NEW AC CONDENSING UNIT. SEE MECHANICAL PLANS FOR DETAILS.



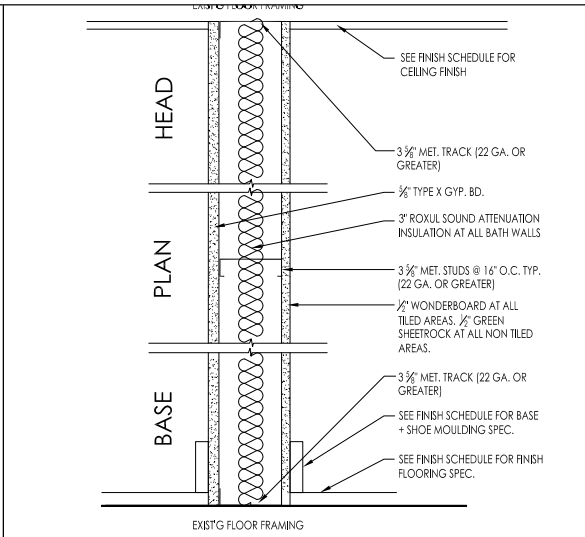
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### ROOF CONSTRUCTION PLAN

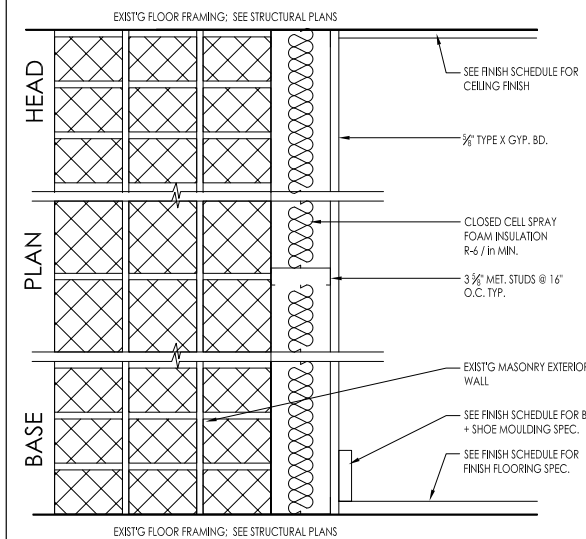
3/16" = 1'-0"



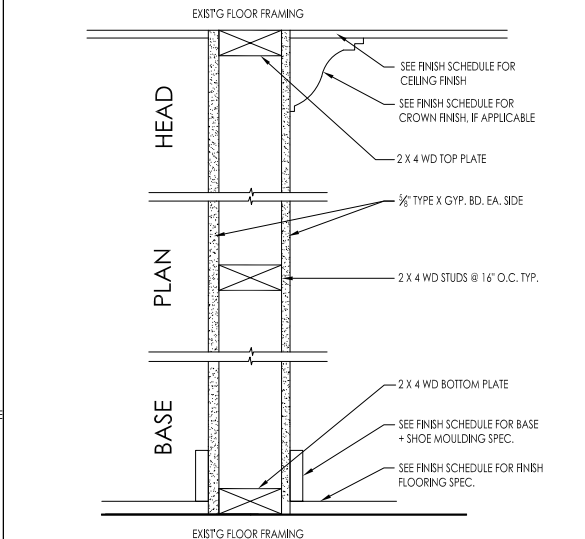
**A** TYP. PARTITION TYPE A-METAL FURRED MASONRY WALLS W/ GREENROCK FINISH 3 HOUR RATED



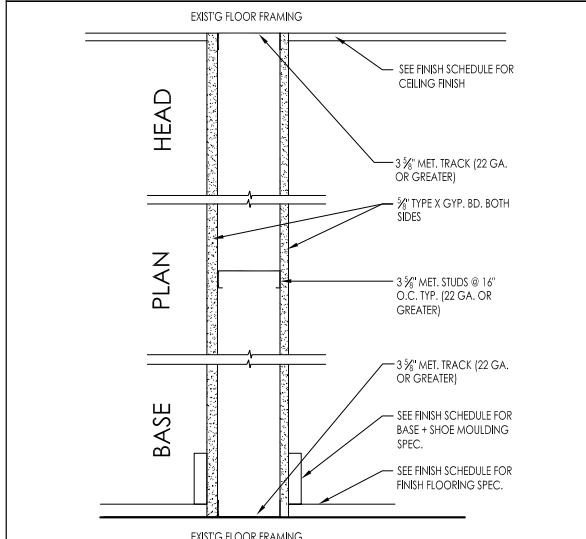
**D** PARTITION TYPE D-TYP. INTERIOR MET. STUD PARTITION-BATH WALLS NON-RATED



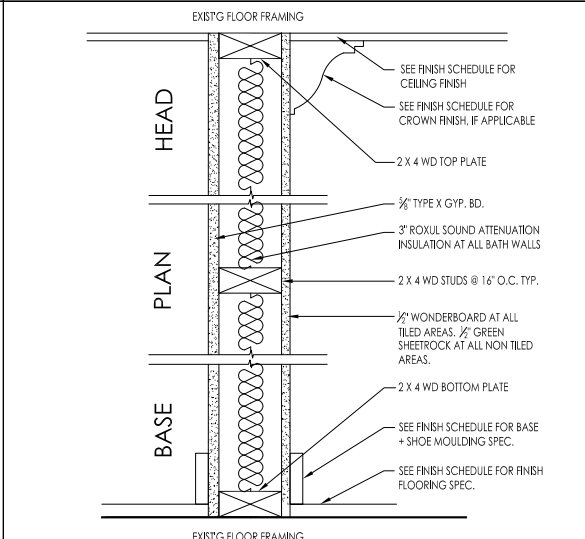
**A** TYP. PARTITION TYPE A-METAL FURRED MASONRY WALLS 3 HOUR RATED



**E** PARTITION TYPE E-TYP. INTERIOR WOOD STUD PARTITION NON-RATED

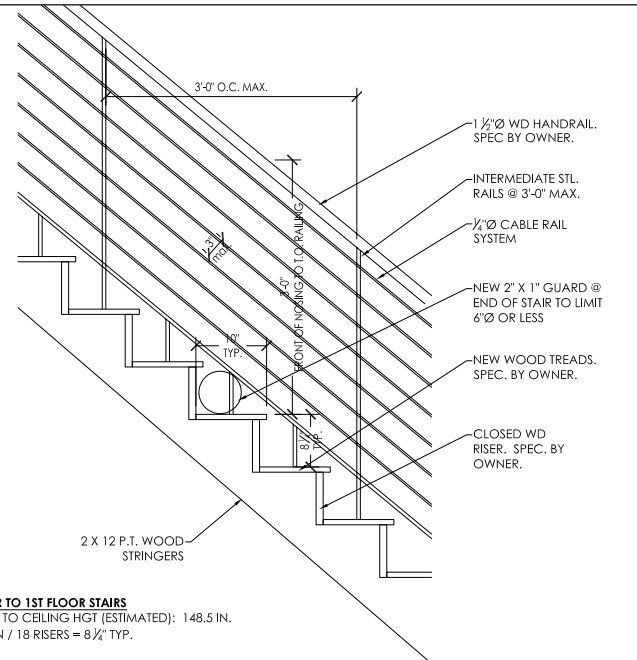


**C** PARTITION TYPE C-TYP. INTERIOR MET. STUD PARTITION NON-RATED

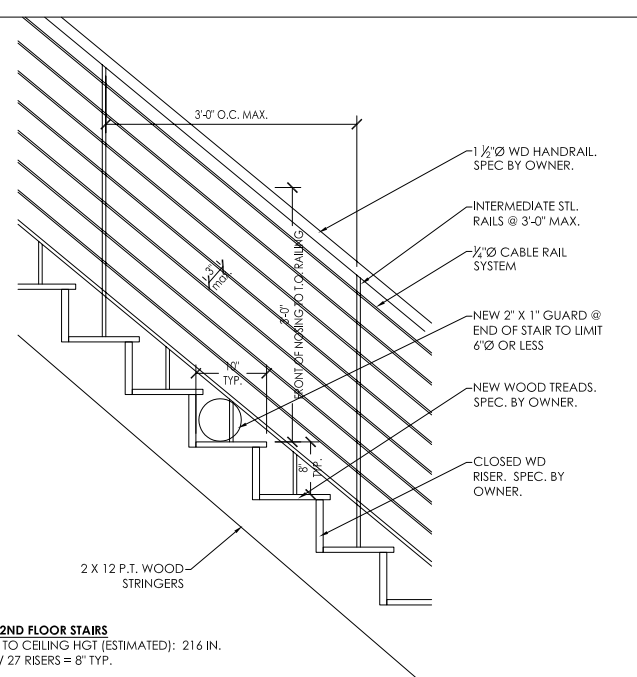


**F** PARTITION TYPE F-TYP. INTERIOR WOOD STUD PARTITION-BATH WALLS NON-RATED

**1** TYP. PARTITION TYPES  
N.T.S.



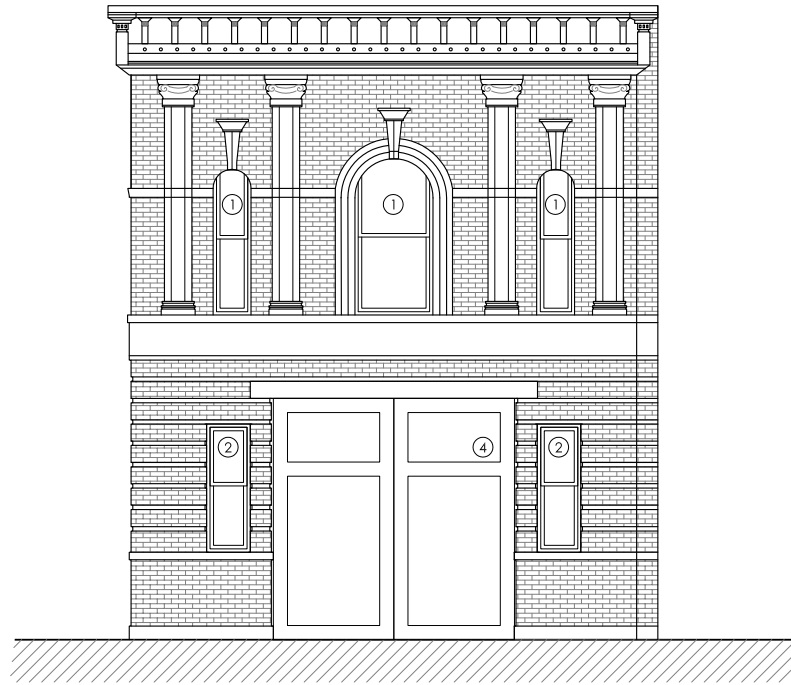
**2** TYP. CELLAR TO 1ST FLOOR STAIR DET.  
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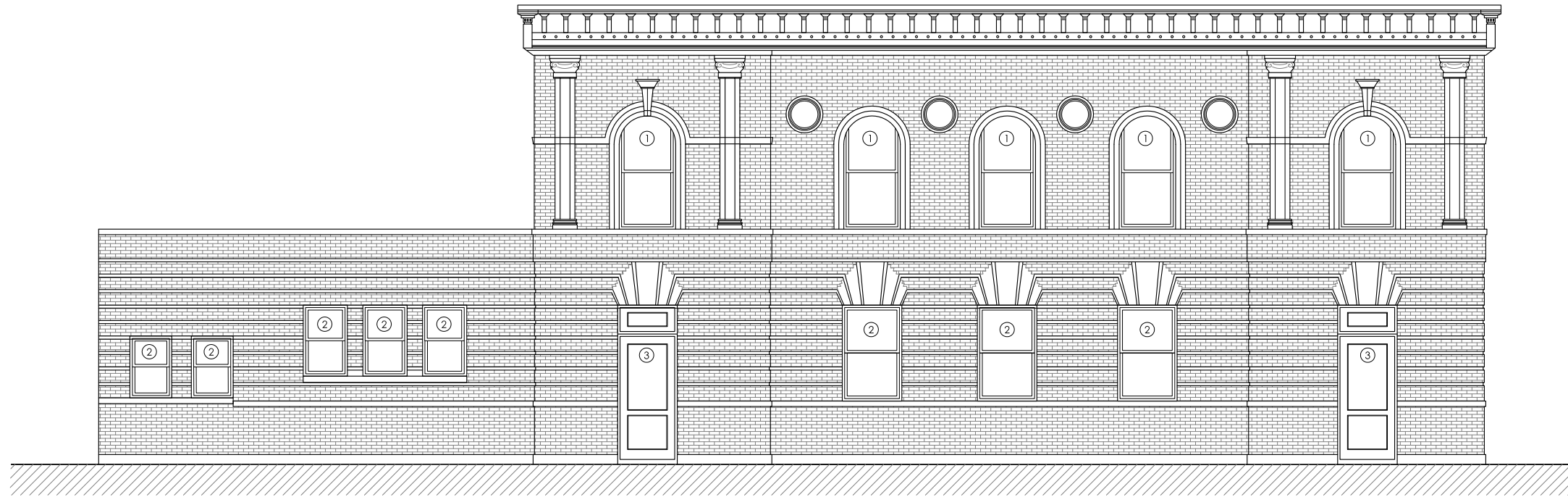
**3** TYP. 1ST TO 2ND FLOOR STAIR DET.  
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### ELEV. CONST. KEY

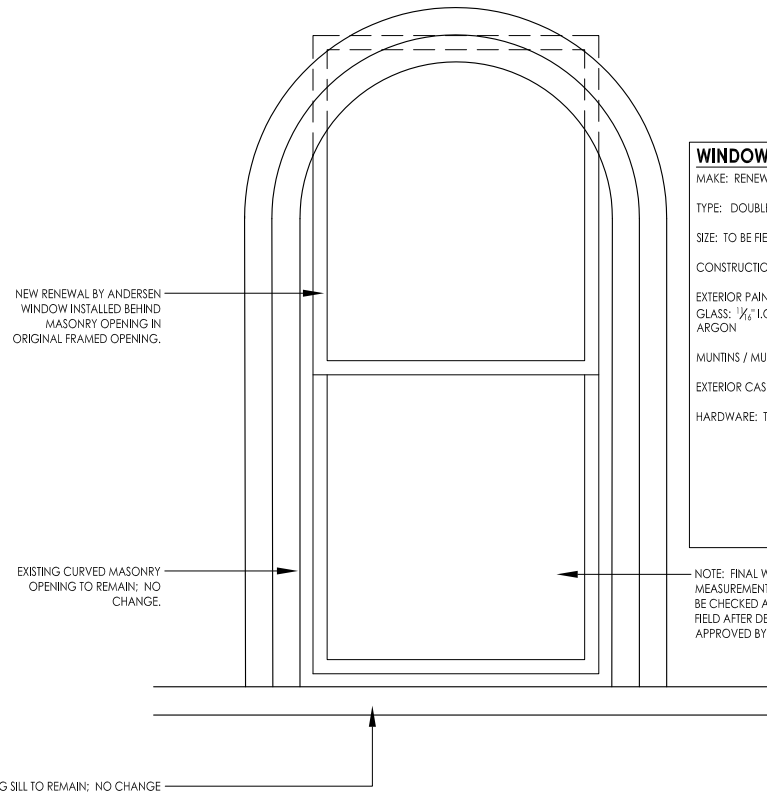
- ① NEW WINDOWS INSET BEHIND EXISTING MASONRY OPENING. NEW WINDOWS TO BE REINSTALLED IN ORIGINAL FRAME OPENING AT INTERIOR. WINDOW DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL OPENING DIMENSIONS BEFORE ORDERING.
- ② NEW WINDOWS IN EXISTING MASONRY OPENING. WINDOW DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL OPENING DIMENSIONS BEFORE ORDERING.
- ③ NEW ENTRY DOORS IN EXISTING MASONRY OPENING.
- ④ NEW CLOPLAY, CANYON RIDGE SERIES GARAGE DOOR IN EXISTING MASONRY OPENING.



**1** PROPOSED CENTRAL AVENUE ELEVATION  
1/4" = 1'-0"



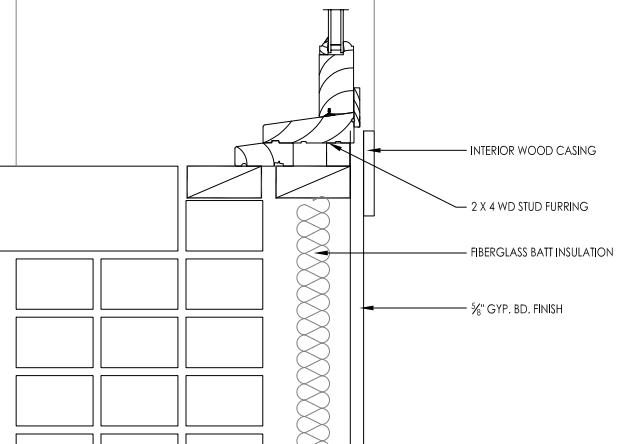
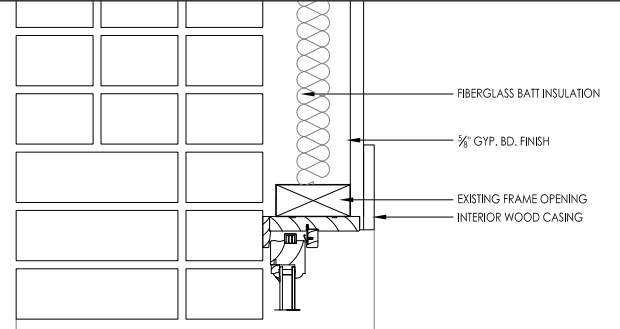
**2** PROPOSED FERRY STREET ELEVATION  
1/4" = 1'-0"



**WINDOW SPEC.**  
 MAKE: RENEWAL BY ANDERSEN  
 TYPE: DOUBLE HUNG  
 SIZE: TO BE FIELD VERIFIED ON SITE  
 CONSTRUCTION: FIBREX INTERIOR AND EXTERIOR.  
 EXTERIOR PAINT: PREFINISHED BLACK  
 GLASS: 1/8" I.G., DOUBLE PANE, LOW E-272 ARGON  
 MUNTINS / MULLIONS: NONE  
 EXTERIOR CASING: EXISTING TO REMAIN  
 HARDWARE: TBD BY OWNER

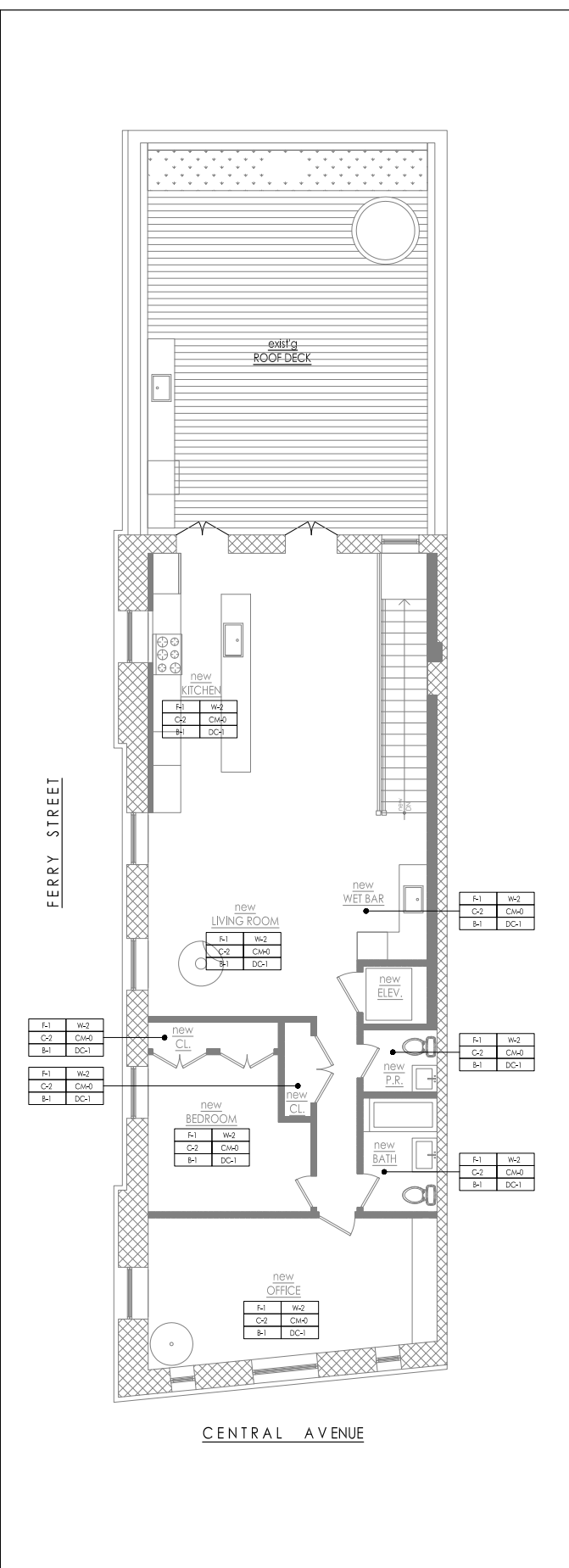
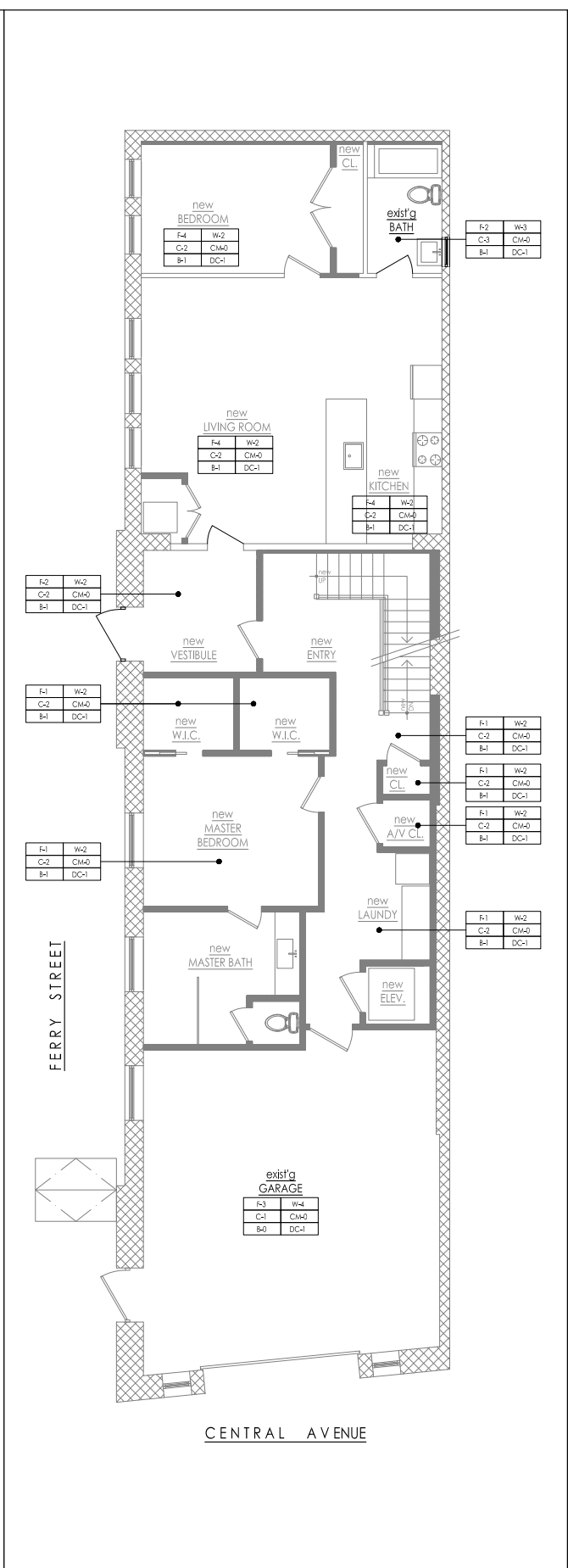
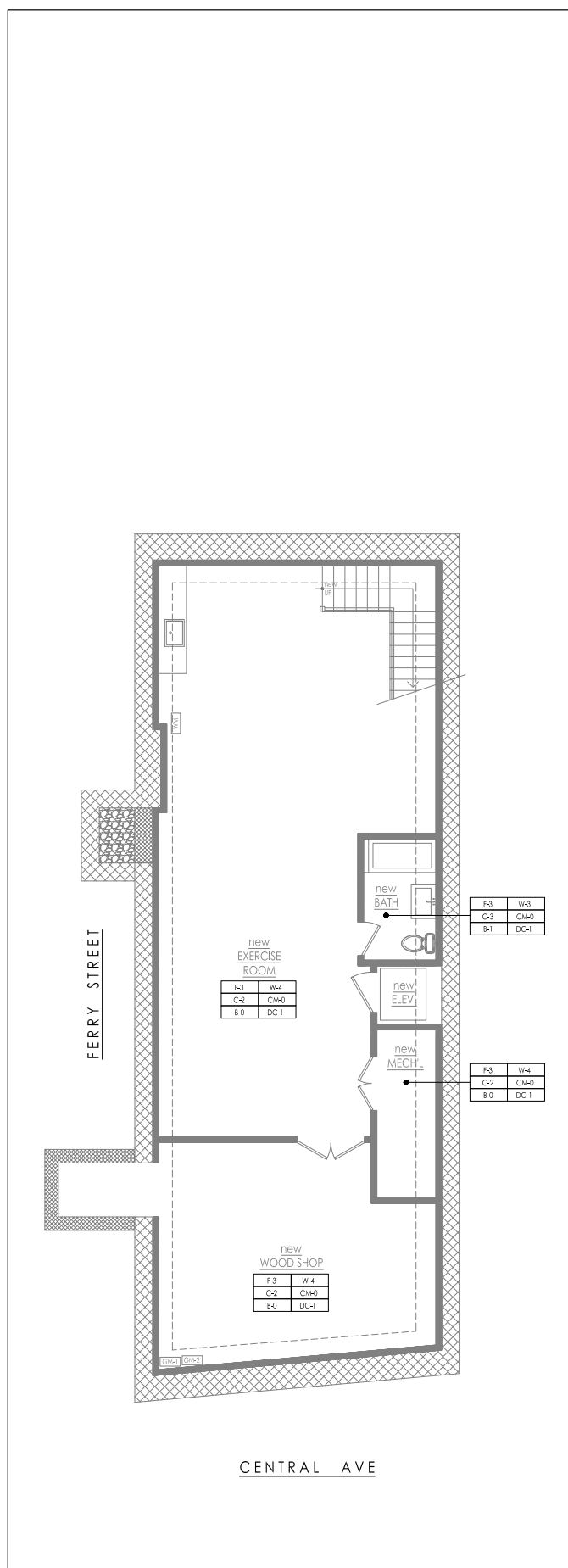
NOTE: FINAL WINDOW MEASUREMENT, DETAILS, SIZE TO BE CHECKED AND MEASURED IN FIELD AFTER DEMOLITION APPROVED BY HPO

**1 MAIN FRONT WINDOW ELEVATION**  
 1" = 1'-0"



**2 TYP. WINDOW SECTION DETAIL**  
 3" = 1'-0"





### FINISH KEY

FLOORING TYPE	F-2	W-2	WALL FINISH TYPE
CEILING TYPE	C-2	CM-0	CROWN MOULDING TYPE
BASE MOULDING TYPE	B-0	DC-0	DOOR / WINDOW CASING

NOTE: INDICATES GENERAL ROOM FINISH UNLESS OTHERWISE NOTED ON PLANS.

### TYP. FINISH KEY

**FINISH FLOORING**  
F-0: NO FINISH FLOOR WORK.

F-1: NEW 3/4" HARDWOOD FINISH FLOORING TBD BY OWNER OVER NEW WARMBOARD R RADIANT FLOOR SHEATHING.

F-2: NEW TILE FLOORING OVER 1/2" WONDERBOARD & THIN SET TYP. TILE TO BE PROVIDED BY OWNER AND INSTALLED ONLY.

F-3: NEW TILE FLOORING OVER CONCRETE SLAB. TILE TO BE PROVIDED BY OWNER AND INSTALLED ONLY.

**WALLS**

W-1: EXISTING SHEETROCK TO BE SKIM COATED TO LEVEL 4 WALL FINISH.

W-2: NEW 5/8" GYPSUM BOARD WITH LEVEL 4 WALLBOARD FINISH.

W-3: NEW TILE / GREEN SHEETROCK AT BATH WALLS.

W-4: NON PAPER FACED GYPSUM BOARD.

**CEILING**

C-1: EXISTING SHEETROCK CEILING TO BE SKIM COATED TO LEVEL 4 SURFACE FINISH.

C-2: NEW 5/8" GYPSUM BOARD WITH LEVEL 4 WALLBOARD FINISH.

C-3: NEW GREEN SHEETROCK AT BATH CEILINGS.

**CROWN MOULDING**  
CM-0: NO CROWN MOULDING.

**BASE MOULDING**  
B-0: NO BASE OR TILE WORK.

B-1: NEW PRIMED, FJ PINE, BASE MOULDING. SEE MOULDING DETAIL SHEET F-101.

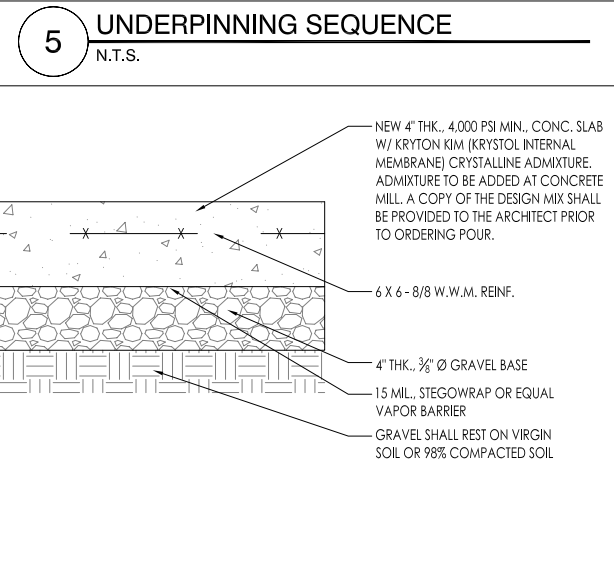
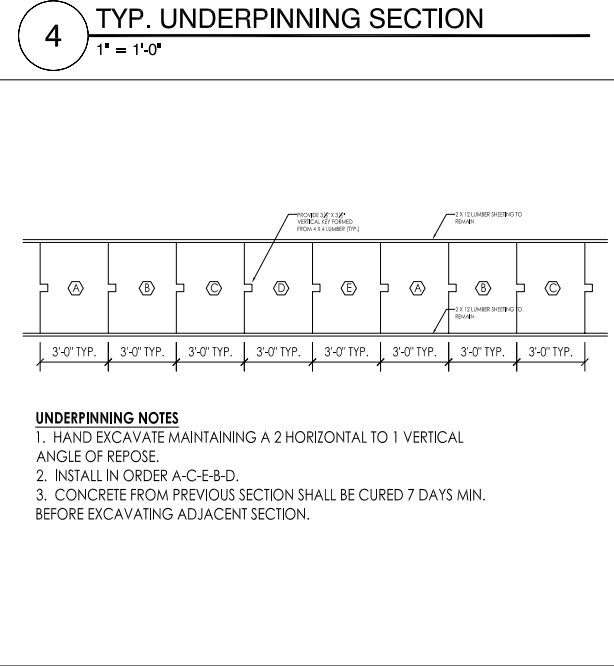
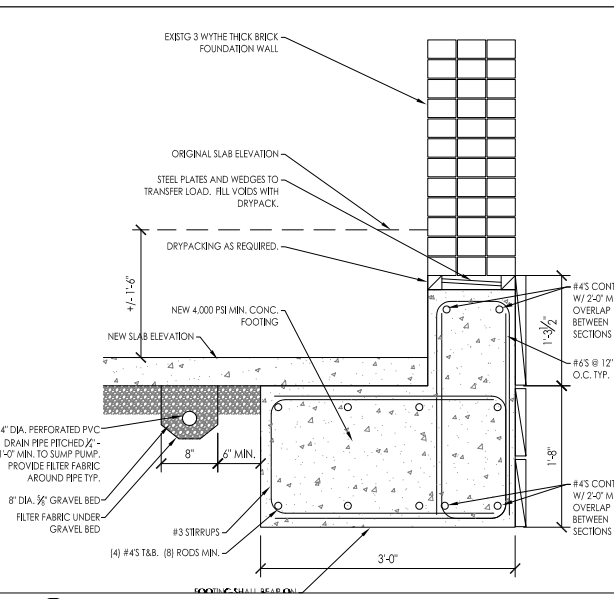
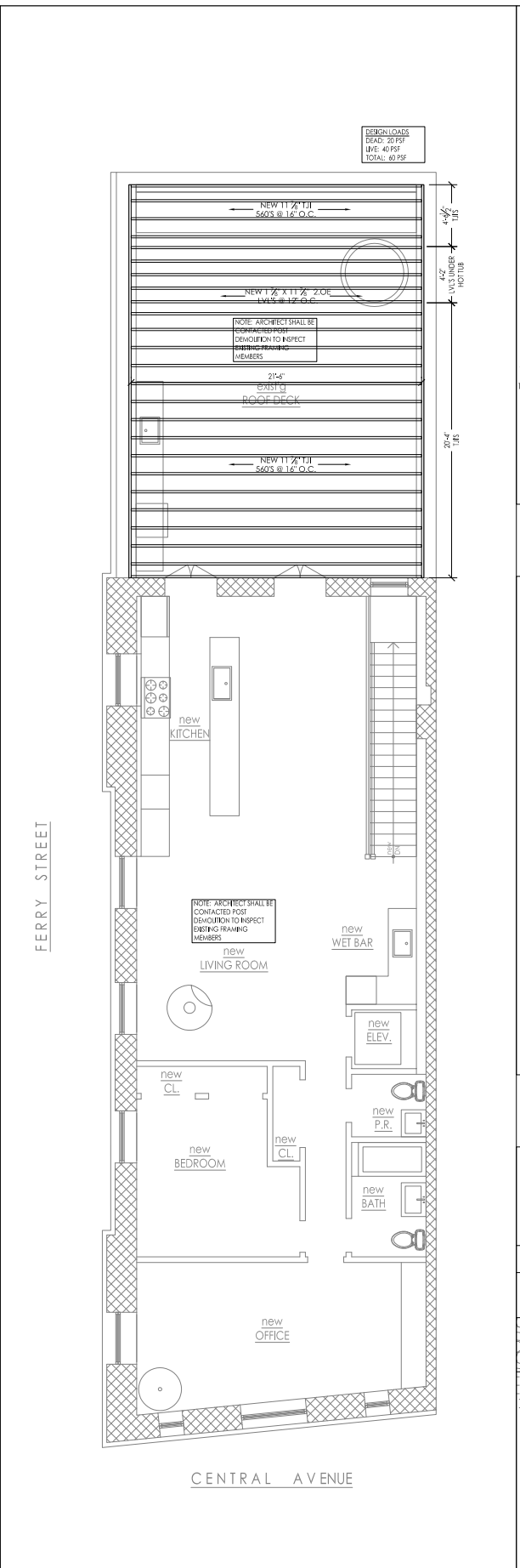
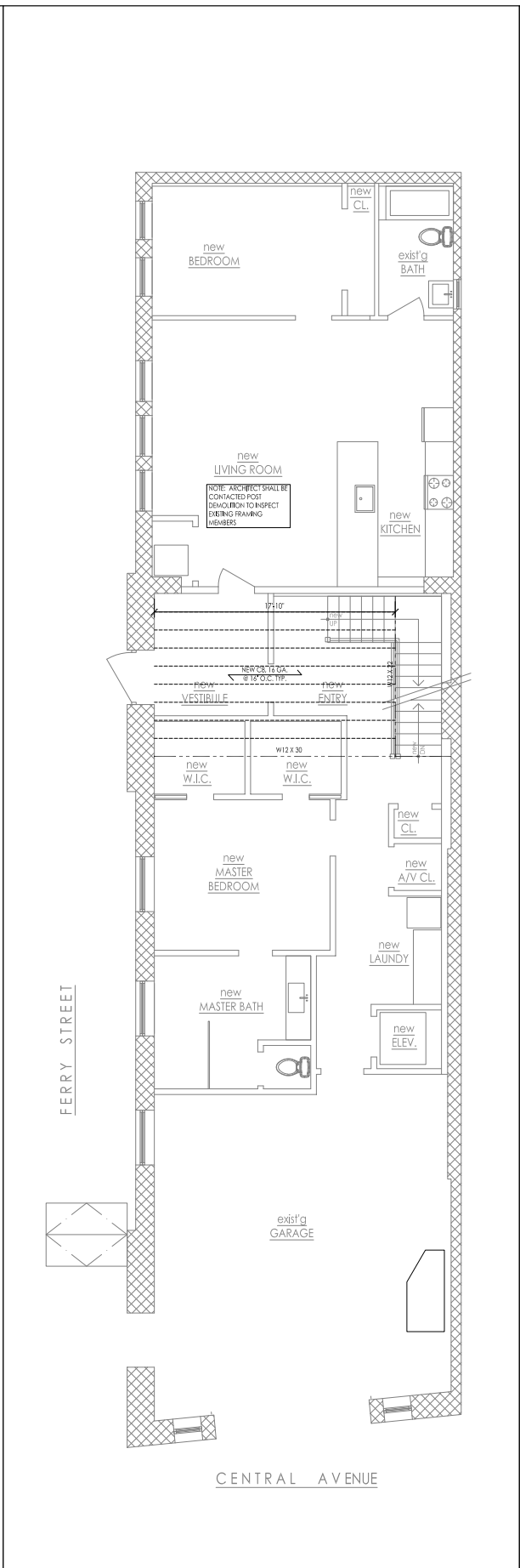
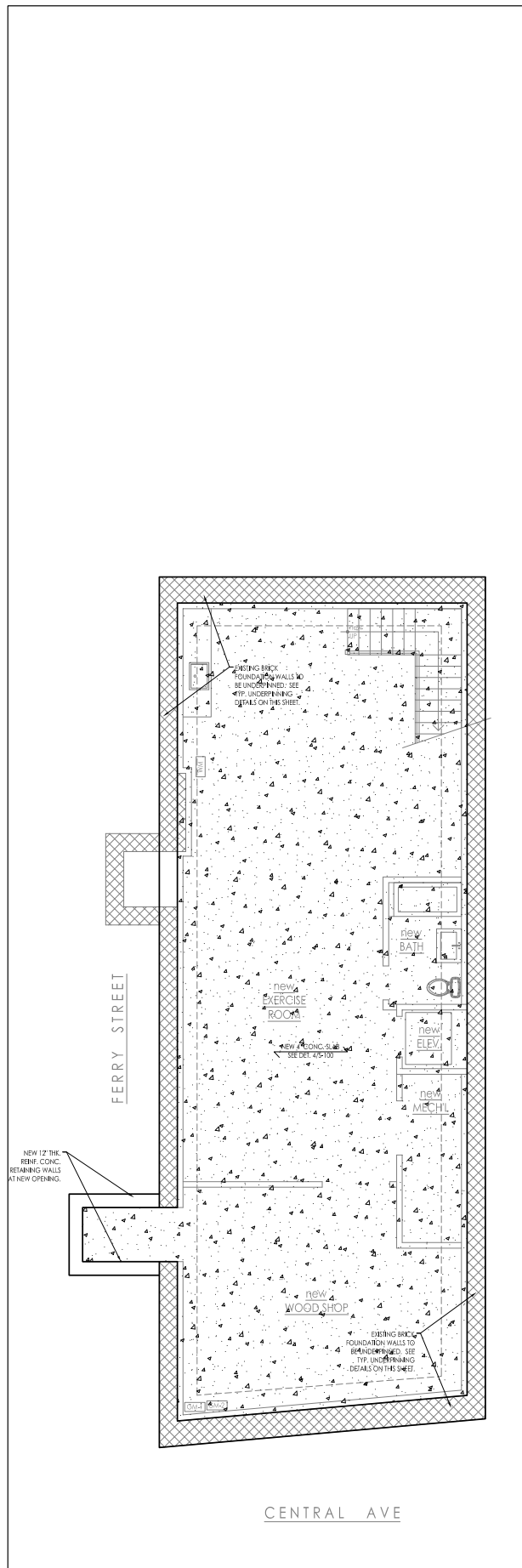
**DOOR AND WINDOW CASINGS**  
DC-0: NO DOOR OR WINDOW CASING WORK.

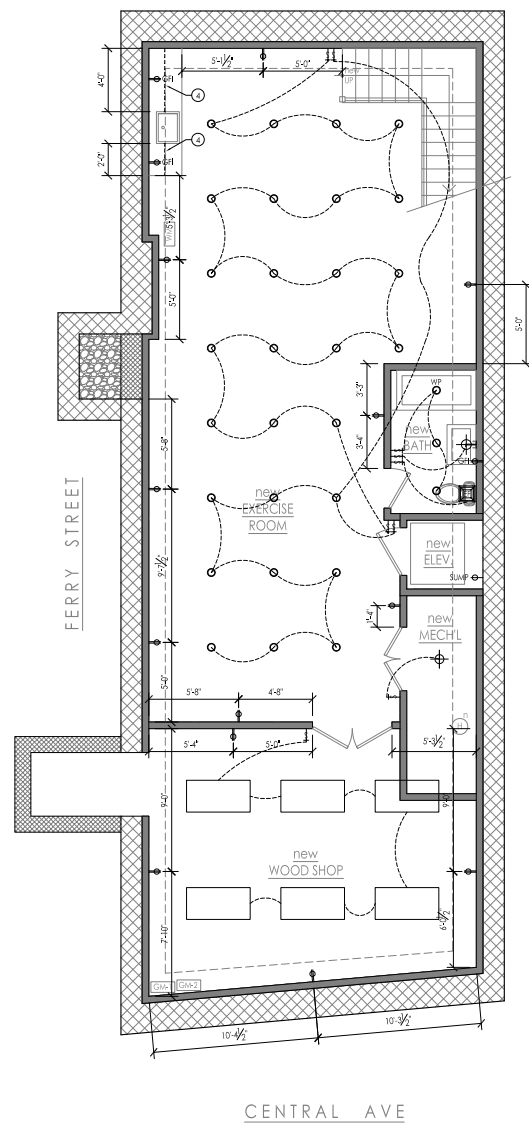
DC-1: NEW PRIMED, FJ PINE, DOOR AND WINDOW CASING. SEE MOULDING DETAILS ON SHEET A-500.

**SHOE MOULDING**  
CONTRACTOR SHALL PROVIDE AND INSTALL NEW SHOE MOULDING (DYKES #25 OR EQUAL) AT ALL EXISTING AND NEW BASE MOULDING LOCATIONS. SHOE TO BE INSTALLED AFTER FINISH FLOORING INSTALLATION.

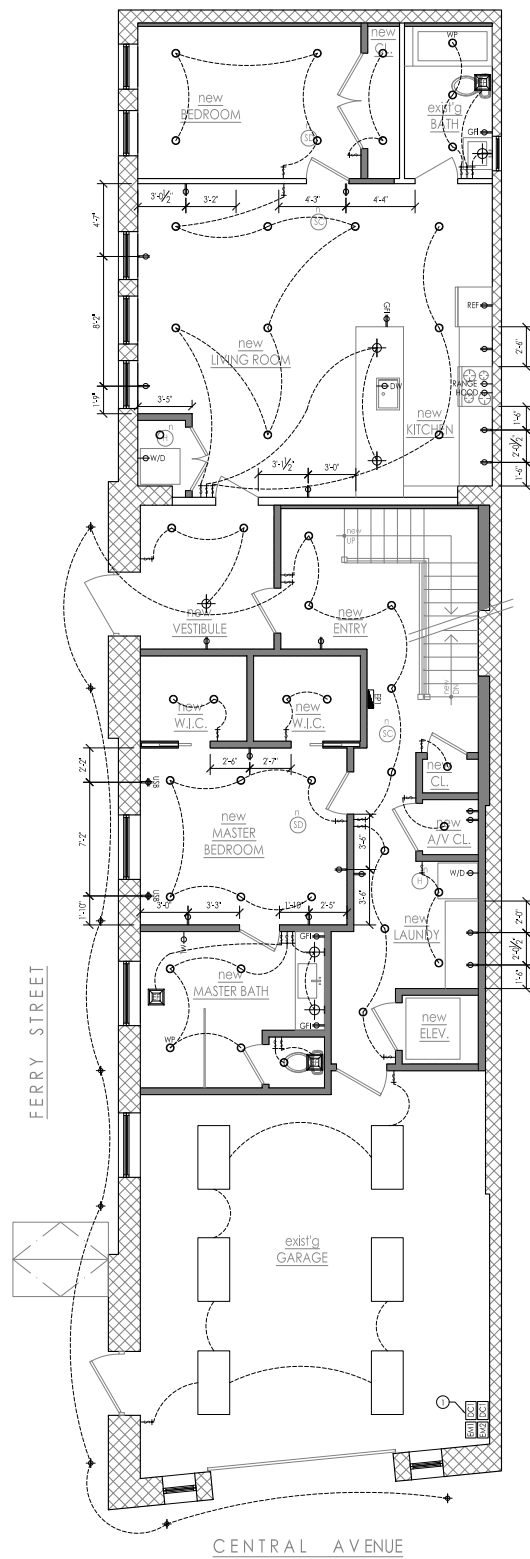
**PAINTING**  
CONTRACTOR SHALL PRICE TO PAINT THE ENTIRE HOUSE INCLUDING ALL CEILINGS, TRIM, AND WALLS.

- ALL WALLS AND CEILINGS SHALL BE PRIMED WITH TUFF-HIDE PRIMER SURFACER. SEE SPECIFICATION BOOK.
- ALL TRIM, CASING, MOULDINGS AND DOORS SHALL BE PAINTED WITH BENJAMIN MOORE; SEMI-GLOSS, REGAL SELECT; COLOR TBD BY OWNER.
- ALL WALLS SHALL BE PAINTED WITH BENJAMIN MOORE, REGAL SELECT; FLAT FINISH; COLOR TBD BY OWNER.
- ALL CEILINGS SHALL BE PAINTED WITH BENJAMIN MOORE, REGAL SELECT; FLAT FINISH, COLOR TBD BY OWNER.
- ALL BATHROOMS SHALL BE PAINTED WITH BENJAMIN MOORE, AURA; SATIN FINISH, COLOR TBD BY OWNER.

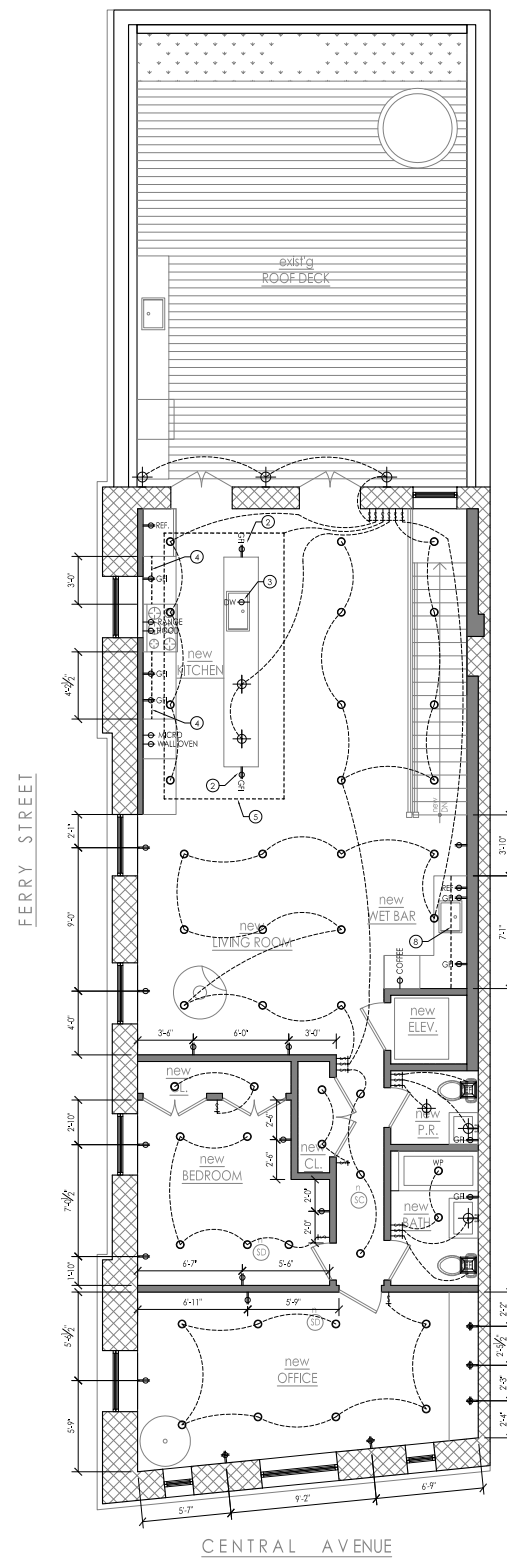




**1** CELLAR ELEC/ LIGHTING PLAN  
1/4" = 1'-0"
















**2** 1ST FLR. ELEC/LIGHT. PLAN  
1/4" = 1'-0"



**3** 2ND FLR. ELEC/LIGHT. PLAN  
1/4" = 1'-0"

## ELECTRICAL KEY

-  ELECTRICAL MAIN OR SUB PANEL LOCATION.
-  ONE WAY SWITCH
-  THREE WAY SWITCH
-  NEW LIGHTING CIRCUIT
-  RECESSED LIGHTING FIXTURE
-  SURFACE MOUNTED LIGHTING FIXTURE (PENDANT, CEILING MTD, CHANDELIER TYPE)
-  WALL MOUNTED SCONCE FIXTURE; FIXTURE TO BE PROVIDED BY OWNER. FINAL HEIGHT A.F.F TO BE DETERMINED PRIOR TO ROUGH ELECTRICAL.
-  COVE LIGHTING. SEE TYP. DETAIL ON SHEET E-101.
-  DUPLEX TAMPER PROOF OUTLET LOCATION
-  DUPLEX TAMPER PROOF OUTLET AT COUNTER W/ GFI
-  WATER RESISTANT, TAMPER PROOF OUTLET
-  DEDICATED OUTLET
-  110 CFM MINIMUM EXHAUST FAN

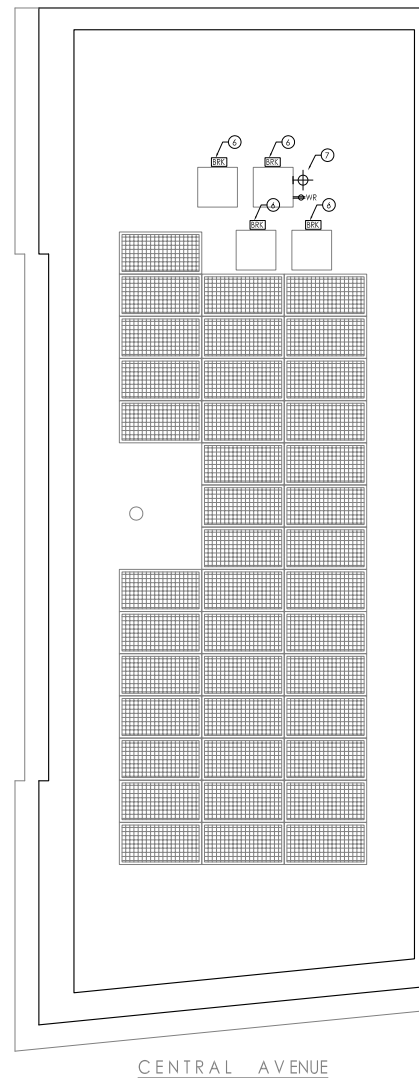
## ELEC. SHEET NOTES

- 1 EXISTING ELECTRICAL METERS AND PANELS TO BE REUSED. SEE RISER DIAGRAM ON SHEET E-101.
- 2 NEW OUTLET AT END OF ISLAND TO BE LESS THAN 12" FROM T.O. COUNTERTOP.
- 3 NEW DISHWASHER OUTLET TO BE ACCESSIBLE IN ADJACENT CABINET.
- 4 NEW UNDERCABINET LED LIGHTING TO BE PROVIDED BY OWNER; INSTALL ONLY.
- 5 NEW LED COVE LIGHTING TO BE PROVIDED BY OWNER; INSTALL ONLY.
- 6 NEW CONDENSER SERVICE DISCONNECT.
- 7 NEW SERVICE LIGHT AND WATER RESISTANT EXTERIOR OUTLET.
- 8 NEW UNDER SHELF LIGHTING TO BE PROVIDED BY OWNER; INSTALL ONLY.

## TYP. ELEC. SPEC'S

1. LIGHTING FIXTURES SHALL BE PROVIDED BY OWNER AND INSTALLED BY ELECTRICIAN. WHERE THE ELECTRICIAN HAS CONCERNS REGARDING INSTALLATION COMPLICATIONS, THE ELECTRICIAN SHALL IDENTIFY OR REQUEST THE INFORMATION DURING THE BIDDING PROCESS OR OTHERWISE PROVIDE AN ALLOWANCE FOR UNCLEAR CONDITIONS.
2. ALL SWITCHES SHALL BE ON DIMMER SWITCHES AT ALL LOCATIONS EXCEPT CLOSETS + UTILITY ROOMS, OR UNLESS DIRECTED OTHERWISE BY OWNER.
3. ALL NEW RECESSED LIGHTING AS DIRECTED BY OWNER.
4. ALL NEW BRANCH WIRING CIRCUITS TO BE 3W CU IN NM CABLE.
5. ALL NEW WIRING TO ELECTRICAL PANELS TO BE SER OR AC.
6. DUE TO SPACE CONSTRAINTS ON DRAWINGS, SWITCH LOCATIONS ARE APPROXIMATE. THERE SHALL BE NO SWITCHES CUT INTO DOOR CASINGS, NOR SWITCHES LOCATED MORE THAN 6" BEYOND FINISH CASINGS. IF IN DOUBT, ALL SWITCH LOCATIONS TO BE DOUBLE VERIFIED BY OWNER / ARCHITECT PRIOR TO ROUGH ELECTRICAL INSPECTION TO ENSURE ADEQUATE SPACE FOR TRIM.
7. WHERE LIGHTING LOCATIONS ARE SHOWN WITH NO SWITCH, IT IS ASSUMED THAT A TOGGLE SWITCH WILL BE INSTALLED AND HAS BEEN LEFT OUT FOR DRAWING CLARITY. LOCATION IS TO BE COORDINATED WITH DOOR CASINGS.
8. ALL LOW VOLTAGE WIRING TO BE COORDINATED WITH OWNER DURING BIDDING PROCESS AND INCLUDED DURING BID.
9. SPECIFIC HEIGHTS FOR INTERIOR AND EXTERIOR SCONCES SHALL BE DETERMINED DURING THE ROUGH FRAMING PROCESS. CONTRACTOR SHALL REQUEST INSPECTION TO DETERMINE FINAL SCONCE HEIGHT PRIOR TO COMMENCEMENT OF ROUGH ELECTRICAL.

FERRY STREET



CENTRAL AVENUE

**1** ROOF ELEC/LIGHT. PLAN  
1/4" = 1'-0"

**ELECTRICAL KEY**

- ELECTRICAL MAIN OR SUB PANEL LOCATION.
- ONE WAY SWITCH
- THREE WAY SWITCH
- NEW LIGHTING CIRCUIT
- RECESSED LIGHTING FIXTURE
- SURFACE MOUNTED LIGHTING FIXTURE (PENDANT, CEILING MTD, CHANDELIER TYPE)
- WALL MOUNTED SCONCE FIXTURE: FIXTURE TO BE PROVIDED BY OWNER. FINAL HEIGHT A.F.F TO BE DETERMINED PRIOR TO ROUGH ELECTRICAL.
- COVE LIGHTING. SEE TYP. DETAIL ON SHEET E-101.
- DUPLEX TAMPER PROOF OUTLET LOCATION
- DUPLEX TAMPER PROOF OUTLET AT COUNTER W/ GFI
- WATER RESISTANT, TAMPER PROOF OUTLET
- DEDICATED OUTLET
- 110 CFM MINIMUM EXHAUST FAN

**ELEC. SHEET NOTES**

- ① EXISTING ELECTRICAL METERS AND PANELS TO BE REUSED. SEE RISER DIAGRAM ON SHEET E-101.
- ② NEW OUTLET AT END OF ISLAND TO BE LESS THAN 12" FROM T.O. COUNTERTOP.
- ③ NEW DISHWASHER OUTLET TO BE ACCESSIBLE IN ADJACENT CABINET.
- ④ NEW UNDERCABINET LED LIGHTING TO BE PROVIDED BY OWNER: INSTALL ONLY.
- ⑤ NEW LED COVE LIGHTING TO BE PROVIDED BY OWNER: INSTALL ONLY.
- ⑥ NEW CONDENSER SERVICE DISCONNECT.
- ⑦ NEW SERVICE LIGHT AND WATER RESISTANT EXTERIOR OUTLET.
- ⑧ NEW UNDER SHELF LIGHTING TO BE PROVIDED BY OWNER: INSTALL ONLY.

**TYP. ELEC. SPEC'S**

1. LIGHTING FIXTURES SHALL BE PROVIDED BY OWNER AND INSTALLED BY ELECTRICIAN. WHERE THE ELECTRICIAN HAS CONCERNS REGARDING INSTALLATION COMPLICATIONS, THE ELECTRICIAN SHALL IDENTIFY OR REQUEST THE INFORMATION DURING THE BIDDING PROCESS OR OTHERWISE PROVIDE AN ALLOWANCE FOR UNCLEAR CONDITIONS.
2. ALL SWITCHES SHALL BE ON DIMMER SWITCHES AT ALL LOCATIONS EXCEPT CLOSETS + UTILITY ROOMS, OR UNLESS DIRECTED OTHERWISE BY OWNER.
3. ALL NEW RECESSED LIGHTING AS DIRECTED BY OWNER.
4. ALL NEW BRANCH WIRING CIRCUITS TO BE 3W CU IN NM CABLE.
5. ALL NEW WIRING TO ELECTRICAL PANELS TO BE SER OR AC.
6. DUE TO SPACE CONSTRAINTS ON DRAWINGS, SWITCH LOCATIONS ARE APPROXIMATE. THERE SHALL BE NO SWITCHES CUT INTO DOOR CASINGS, NOR SWITCHES LOCATED MORE THAN 6" BEYOND FINISH CASINGS. IF IN DOUBT, ALL SWITCH LOCATIONS TO BE DOUBLE VERIFIED BY OWNER / ARCHITECT PRIOR TO ROUGH ELECTRICAL INSPECTION TO ENSURE ADEQUATE SPACE FOR TRIM.
7. WHERE LIGHTING LOCATIONS ARE SHOWN WITH NO SWITCH, IT IS ASSUMED THAT A TOGGLE SWITCH WILL BE INSTALLED AND HAS BEEN LEFT OUT FOR DRAWING CLARITY. LOCATION IS TO BE COORDINATED WITH DOOR CASINGS.
8. ALL LOW VOLTAGE WIRING TO BE COORDINATED WITH OWNER DURING BIDDING PROCESS AND INCLUDED DURING BID.
9. SPECIFIC HEIGHTS FOR INTERIOR AND EXTERIOR SCONCES SHALL BE DETERMINED DURING THE ROUGH FRAMING PROCESS. CONTRACTOR SHALL REQUEST INSPECTION TO DETERMINE FINAL SCONCE HEIGHT PRIOR TO COMMENCEMENT OF ROUGH ELECTRICAL.

**RENTAL UNIT PANEL SCHEDULE**

CRKT. NO.	BRKR. AMPS	DESCRIPTION	CRKT. NO.	BRKR. AMPS	DESCRIPTION
1	15*	FRONT 1ST FLR LIGHTS	2	15*	REAR 1ST FLR LIGHTS
3	20*	FRONT 1ST FLR OUTLETS	4	20*	REAR 1ST FLR OUTLETS
5	20*	KITCHEN GFI #1	6	20	STACKABLE W/D
7	20*	KITCHEN GFI #2	8	20	KITCHEN GFI #1
9	20	BATH GFI	10	20	KITCHEN GFI #2
11	20	GAS RANGE	12	20	DISHWASHER (GFCI)
13	20	REFRIGERATOR	14	20	MICROWAVE
15	15	DOORBELL	16		
17			18		
19			20		
21			22		
23			24		
25			26		
27			28	20	AC-1
29			30		
SINGLE PHASE 3 WIRE 120 / 240 V			100 AMP - 40 POLE MAIN PANEL		

NOTE: \*INDICATES ARC FAULT BREAKER

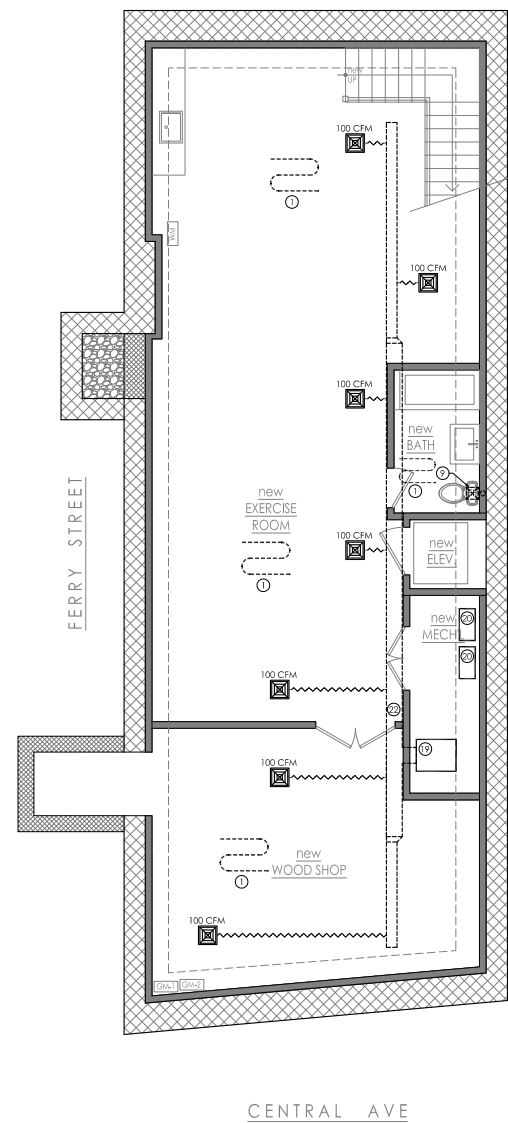
**2** EP-1 PANEL SCHEDULE  
N.T.S.

**1ST FLOOR MAIN PANEL SCHEDULE**

CRKT. NO.	BRKR. AMPS	DESCRIPTION	CRKT. NO.	BRKR. AMPS	DESCRIPTION
1	20*	1ST FLOOR FRONT OUTLETS	2	20*	2ND FLR FRONT OUTLETS
3	15*	1ST FLOOR FRONT LIGHTS	4	15*	2ND FLR FRONT LIGHTS
5	20*	1ST FLOOR REAR OUTLETS	6	20*	2ND FLR REAR OUTLETS
7	15*	1ST FLOOR REAR LIGHTS	8	15*	2ND FLR REAR LIGHTS
9	15	COMBI BOILER	10	20	KITCHEN GFI #1
11	15	COMBI BOILER	12	20	KITCHEN GFI #1
13	15	AIR HANDLER #1	14	20	DISHWASHER
15	15	AIR HANDLER #2	16	20	MICROWAVE
17	15	AIR HANDLER #3	18	20	REFRIGERATOR
19	20	REAR DECK LIGHTING	20	15	DOORBELL
21	20	POWDER ROOM GFI	22	20	RANGE
23	20	HOOD	24	20	WET BAR GFI
25	15*	SMOKE DETECTORS	26	20	WET BAR GFI
27	20	EXTERIOR LIGHTING	28	20	MASTER BATH GFI
29	20	LAUNDRY	30	20	BATH GFI
31	20	SUMP PUMP	32	20	BATH GFI
33	30	ELEVATOR	34	30	AC-3
35			36		
37	30	AC-2	38	30	AC-4
39			40		
SINGLE PHASE 3 WIRE 120 / 240 V			150 AMP - 40 POLE MAIN PANEL		

NOTE: \*INDICATES ARC FAULT BREAKER

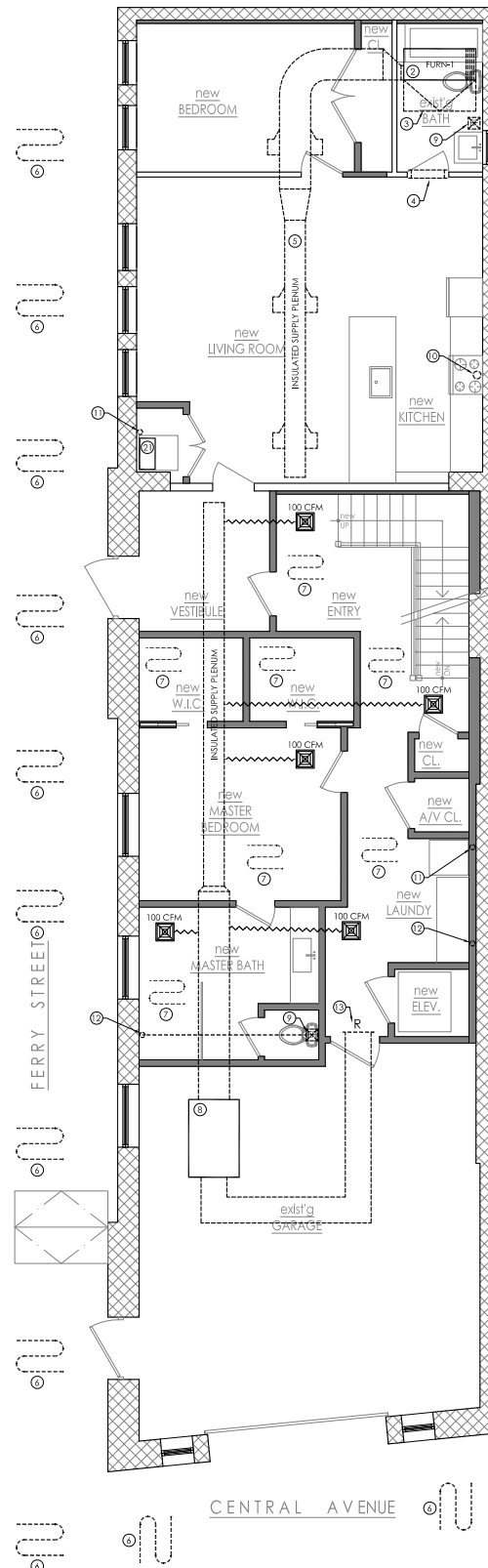
**3** EP-2 PANEL SCHEDULE  
N.T.S.



1

**CELLAR MECHANICAL PLAN**

3/16" = 1'-0"



2

**1ST FLOOR MECHANICAL PLAN**

3/16" = 1'-0"

**MECHANICAL KEY**

- EXHAUST**
- INDICATES RIGID DUCTWORK FOR EXHAUST
  - INDICATES EXHAUST FAN  
MAKE: PANASONIC  
MODEL: FV-11VQC5  
CAPACITY: 110 CFM MIN.
  - INDICATES EXHAUST TERMINATION AT EXTERIOR OF BUILDING
- HEATING/AIR CONDITIONING**
- INDICATES RIGID MAIN SUPPLY OR RETURN PLENUM. USE SMALLEST SHAPE (CIRCULAR, RECTANGULAR, OVAL) FOR AIRFLOW
  - INDICATES FLEX DUCT WITH R 4.2 MIN. INSULATION (BRANCH LINE)
  - DUCT UP / DOWN TO REGISTER AT FLOOR OR CEILING ABOVE / BELOW
  - INDICATES 6 X 12 WOOD FLOOR REGISTER
  - INDICATES OVAL DUCT IN WALL
  - INDICATES THERMOSTAT LOCATION

**MECHANICAL NOTES**

1. MECHANICAL DRAWINGS ARE FOR BASIC DESIGN PURPOSES ONLY. ANY CHANGES OR SUBSTITUTIONS BY MECHANICAL CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF WORK. COORDINATION MAY BE NEEDED AFTER DEMOLITION, BUT PRIOR TO COMMENCEMENT OF FRAMING IN ORDER TO ENSURE MINIMAL IMPACT TO ORIGINAL AESTHETIC OF THE HOME.
2. CONTRACTOR SHALL PROVIDE ALL RAIN HOODS / RODENT SCREENS WITH BACKDRAFT PREVENTERS AT ALL KITCHEN AND BATH EXHAUST TERMINATIONS.
3. WHERE MANUFACTURER'S SPECIFICATIONS OR CONTRACTOR'S WARRANTY WOULD BE VOIDED FOR ANY PROPOSED INSTALLATION SHOWN IN THESE DRAWINGS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT DURING THE BIDDING PROCESS. WHERE DEMOLITION IS REQUIRED TO DETERMINE HIDDEN CONDITIONS, AN ALTERNATIVE SHALL BE SUGGESTED AND AN ALLOWANCE SUBMITTED AS AN ADDITIONAL ALTERNATE TO THE BID. ANY CHANGES BROUGHT TO THE OWNERS' / ARCHITECT'S ATTENTION AFTER AN ACCEPTED BID, WITHOUT AN ADDITIONAL ALTERNATE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR / SUB CONTRACTOR. THIS INCLUDES ALL OTHER IMPACTED SUB-CONTRACTORS.

**MECH'L SHEET NOTES**

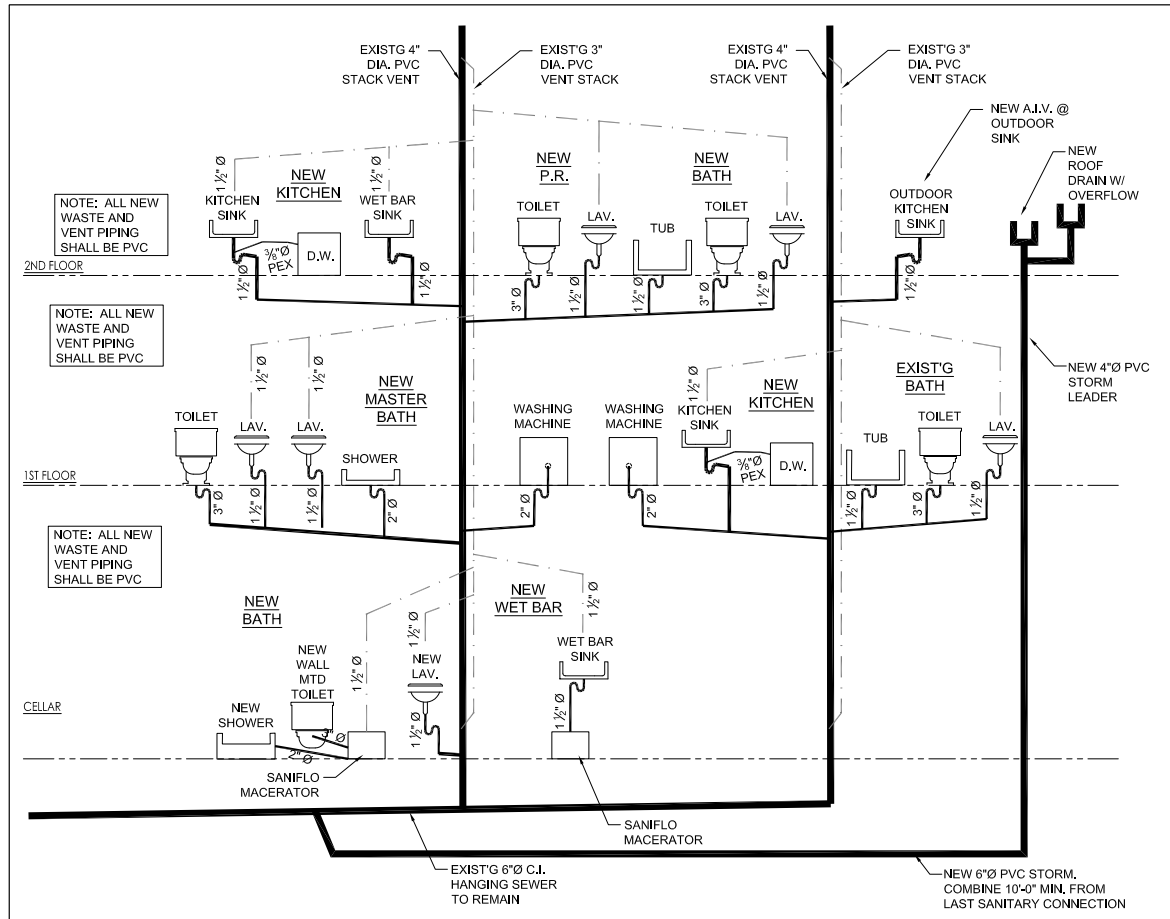
- 1 NEW RADIANT FLOOR HEATING IN WARMBOARD OVER NEW CONCRETE SLAB.
- 2 EXISTING HORIZONTALLY MOUNTED AIR HANDLER TO BE REUSED AND REINSTALLED TIGHT TO NEW ROOF JOISTS.
- 3 NEW 24" X 48" ACCESS PANEL FOR UNIT SERVICE AND REPLACEMENT.
- 4 NEW TRANSFER AIR DUCT AT MECHANICAL UNIT AREA FOR RETURN.
- 5 REUSE EXISTING DUCTWORK.
- 6 NEW HYDRONIC SNOW MELT UNDER SIDEWALK.
- 7 NEW RADIANT FLOOR HEATING IN WARMBOARD R UNDERLAYMENT.
- 8 NEW HORIZONTAL MOUNTED AIR HANDLER  
MAKE: BY HVAC CONTRACTOR.  
CAPACITY: 2 TONS
- 9 NEW 110 CFM MIN. EXHAUST FAN.
- 10 NEW 400 CFM RANGE EXHAUST. MAKEUP AIR MUST BE PROVIDED IF EXHAUST EXCEEDS 400 CFM AS PER 2015 IMC NJ EDITION.
- 11 NEW 4"Ø RIGID DRYER EXHAUST TO ROOF.
- 12 NEW 4"Ø RIGID BATH EXHAUST TO ROOF.
- 13 NEW WALL MOUNTED RETURN.
- 14 NEW 8"Ø STAINLESS STEEL FLUE FROM FIRE ORB.
- 15 WOOD BURNING FIREPLACE FLUE SHALL TERMINATE 3'-0" MIN. FROM ANY OBSTRUCTION.

- 16 NEW PITCH POCKET @ VENT TERMINATION WITH RAIN / RODENT SCREEN.
- 17 NEW HORIZONTAL MOUNTED AIR HANDLER.  
MAKE: BY HVAC CONTRACTOR  
CAPACITY: 3 TONS
- 18 NEW 400 CFM RANGE EXHAUST. MAKEUP AIR MUST BE PROVIDED AND SHALL BE ACTIVATED IN CONJUNCTION WITH HOOD.
- 19 NEW UPRIGHT AIR HANDLER.  
MAKE: BY HVAC CONTRACTOR  
CAPACITY: 2 1/2 TONS
- 20 NEW WALL MOUNTED COMBI BOILER  
MAKE: NAVIEN  
MODEL(S): NCB 240 E OR EQUAL  
CAPACITY: 199,000 BTU
- 21 NEW WALL MOUNTED WATER HEATER ABOVE W/D  
MAKE: NAVIEN  
MODEL(S): NPE 1505 OR EQUAL  
CAPACITY: 120,000 BTU
- 23 RELOCATED EXISTING CONDENSING UNIT FOR RENTAL UNIT.
- 24 AC-2: NEW AC CONDENSING UNIT  
CAPACITY: 24,000 BTU  
MAKE: LENNOX OR EQUAL  
ZONE: BASEMENT  
REFRIGERANT: R-410A. PROVIDE LOCKING CAPS FOR REFRIGERANT LINES.
- 25 AC-3: NEW AC CONDENSING UNIT  
CAPACITY: 30,000 BTU  
MAKE: LENNOX OR EQUAL  
ZONE: 1ST FLOOR FRONT  
REFRIGERANT: R-410A. PROVIDE LOCKING CAPS FOR REFRIGERANT LINES.
- 26 AC-4: NEW AC CONDENSING UNIT  
CAPACITY: 36,000 BTU  
MAKE: LENNOX OR EQUAL  
ZONE: 2ND FLOOR  
REFRIGERANT: R-410A. PROVIDE LOCKING CAPS FOR REFRIGERANT LINES.

**IECC NOTES**

- 403.1.1 PROGRAMMABLE THERMOSTATS SHALL BE INSTALLED FOR PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.
- 403.3.1 SUPPLY AND RETURN DUCTS AT ATTIC SHALL BE INSULATED AS FOLLOWS  
R=8 WHERE DUCT DIA. IS LESS THAN OR EQUAL TO 3"  
R=6 WHERE DUCT DIA. IS MORE THAN 3"
- SUPPLY AND RETURN DUCTS IN CONDITIONED SPACE SHALL BE INSULATED AS FOLLOWS  
R=6 WHERE DUCT DIA. IS LESS THAN OR EQUAL TO 3"  
R=4.2 WHERE DUCT DIA. IS MORE THAN 3"
- 403.2 HOT WATER BOILERS SUPPLYING HEAT THROUGH ONE OR TWO PIPE HEATING SYSTEMS SHALL HAVE AN OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
- 403.3.2.1 AIR HANDLER LEAKAGE DESIGNATED BY MANUFACTURER SHALL BE LESS THAN OR EQUAL TO 2% OF DESIGN AIR FLOW.
- 403.3.3 DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE WITH EITHER:  
-ROUGH IN TEST: TOTAL LEAKAGE MEASURED WITH PRESSURE DIFFERENTIAL OF 0.1 IN. W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST.  
-POSTCONSTRUCTION TEST: TOTAL LEAKAGE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 IN. W.G. ACROSS THE SYSTEM INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE
- 403.3.4 A DUCT TIGHTNESS TEST RESULT OF LESS THAN OR EQUAL TO 4 CFM / 100 SQ. FT. ACROSS THE SYSTEM OR 3 CFM / 100 SQ. FT. WITHOUT AIR HANDLER @ 25 PA. FOR ROUGH IN TESTS, VERIFICATION MAY NEED TO OCCUR DURING FRAMING INSPECTION.
- 403.3.5 BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.
- 403.4 HVAC PIPING CONVEYING LIQUIDS ABOVE 105° F OR CHILLED FLUIDS BELOW 55° F SHALL BE INSULATED EQUAL TO OR LESS THAN R=3.
- 403.4.1 ALL HVAC PIPING INSULATION SHALL BE PROTECTED.
- 403.6 GRAVITY DAMPERS SHALL BE ON ALL OUTDOOR INTAKES & EXHAUSTS.
- 403.6.1 ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT SHALL BE EFFICACY AND AIR FLOW LIMITS.
- 404.1.1 FUEL GAS LIGHTING SYSTEMS SHALL HAVE NO CONTINUOUS PILOT LIGHT.





**1** SANITARY AND STORM DRAINAGE RISER DIAGRAM  
N.T.S.

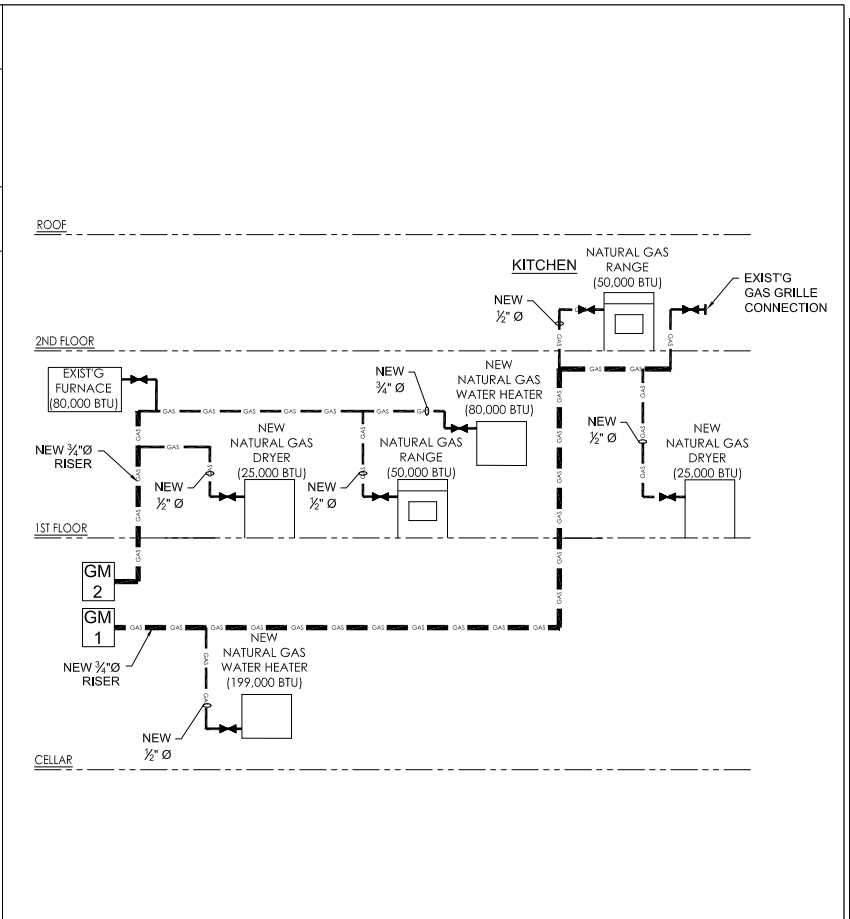
**SAN. / STORM LEGEND**

— WASTE LINE

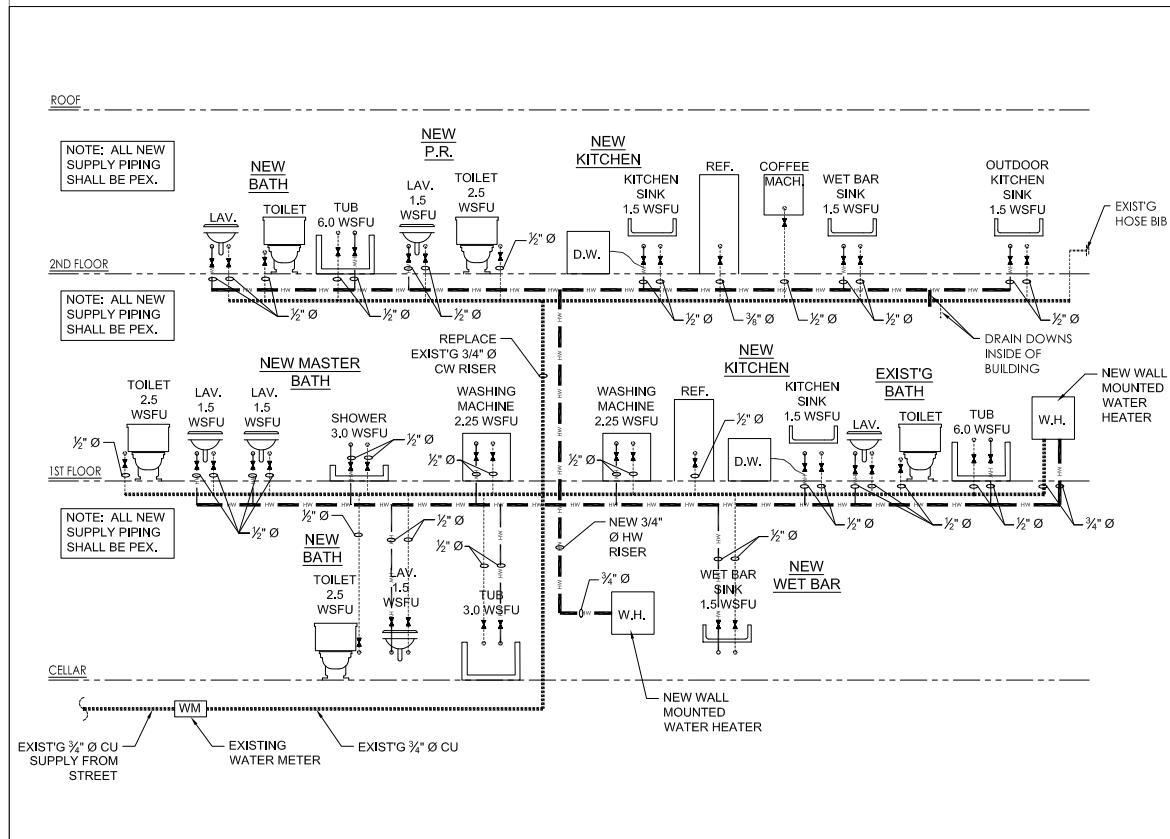
- - - VENT LINE

**TYP. SAN. / STORM NOTES**

- TYPICAL PLUMBING NOTES**
1. ALL FIXTURES SHALL BE ASSUMED TO BE OWNER PROVIDED FOR BIDDING PURPOSES.
  2. CONTRACTOR SHALL REQUEST SPECIFICATIONS FOR PLUMBING FIXTURES AT LEAST 1 MONTH IN ADVANCE.
  3. ANY LONG LEAD TIME / EARLY INSTALL ITEMS SHALL BE REQUESTED AT LEAST 1 MONTH IN ADVANCE. OWNER SHALL DELIVER FIXTURES NO LATER THAN 1 WEEK PRIOR TO INSTALLATION.
  4. UNLESS PROVIDED BY THE CONTRACTOR, ALL OWNER SUPPLIED FIXTURES SHALL BE REVIEWED AND APPROVED FOR INSTALLATION PRIOR TO OWNER PURCHASING. ALL PURCHASES FIXTURES WHICH WERE APPROVED, BUT CANNOT BE INSTALLED DUE TO OVERSIGHT WILL BE THE PLUMBER / CONTRACTOR'S RESPONSIBILITY.
  5. NO NEW STORM OR SANITARY SERVICE PROPOSED IN THIS PROJECT.



**3** GAS RISER DIAGRAM  
N.T.S.



**2** PLUMBING SUPPLY RISER DIAGRAM  
N.T.S.

**SUPPLY RISER LEGEND**

— HOT WATER SUPPLY LINE

- - - COLD WATER SUPPLY LINE

◀ SHUTOFF VALVE

**TYP. PL SUPPLY NOTES**

1. ALL SUPPLY WATER PIPING AND FIXTURE INSTALLATION SHALL BE INSTALLED BY A LICENSED NJ PLUMBER.
2. ALL WATER SUPPLY AND DISTRIBUTION PIPING SHALL COMPLY WITH CHAPTER 10 OF THE 2009 NATIONAL STANDARD PLUMBING CODE, NJ EDITION.
3. ALL WATER SUPPLY AND DISTRIBUTION VALVES SHALL COMPLY WITH SECTION 10.12 OF THE 2009 NATIONAL STANDARD PLUMBING CODE, NJ EDITION.
4. ALL NEW WATER SUPPLY AND DISTRIBUTION PIPING SHALL BE COPPER TUBING (TYPE K). ALL DISTRIBUTION PIPING SHALL COMPLY WITH REFERENCE STANDARDS AS SPECIFIED IN TABLE 3.4.
5. PRESSURE AND TEMPERATURE RELIEF VALVES SHALL BE PROVIDED AT PROPOSED WATER HEATERS AS PER SECTIONS 10.16.2 & 10.16.3.
6. PLUMBER SHALL REVIEW FIXTURE SPECIFICATIONS TO VERIFY IF ANTI SCALD VALVES ARE NEEDED PRIOR TO INSTALLATION.
7. ALL HOT AND COLD WATER SUPPLY PIPING SHALL BE INSTALLED WITH R=4.3 INSULATION MINIMUM.
8. NO NEW WATER SERVICE PROPOSED IN THIS PROJECT.